

**FOOTHILLS COUNTY
COUNCIL AGENDA**

Wednesday, February 19, 2025, 9:00 a.m.
Foothills County Administration Office
309 Macleod Trail South – High River



	Pages
A. GENERAL MATTERS	
A.1 Call Meeting to Order	
A.2 Approval of the Agenda	
B. PUBLIC WORKS / ENGINEERING / PARKS & RECREATION	
B.1 Traffic Report - Intersection of 32 Street East and 314 Avenue East Presented by: Senior Engineering Technologist Wiaan Kruger & Deputy Director Community and Emergency Services Peter Stapley	3
C. PUBLIC HEARINGS & MEETINGS	
C.1 10:00 a.m. - Dunham - SE 27-20-29 W4M - Site Specific Amendment Presented By: Planning Officer Brittany Domenjoz	7
C.2 1:30 p.m. - 2291463 Alberta Ltd. - NW 32-21-29 W4M - Heritage Crossing ASP - Amendment and Concurrent Redesignation Presented by: Planning Officer Brittany Smith	28
D. MISCELLANEOUS PLANNING ITEMS	
D.1 Misura - SW 32-22-03 W5M - Bylaw 69/2023 (2nd & 3rd Reading)	131
E. SUBDIVISION APPROVING AUTHORITY ITEMS	
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F. MISCELLANEOUS MUNICIPAL ITEMS	
F.1 Family and Community Services Support (FCSS) - Community Services Committee Report Presented by: Councillor Barb Castell	148
F.2 Foothills Okotoks Regional Water Project (FORWP) - Intake and Mid- Line Pump Stations Presented by: Municipal Advisor Harry Riva Cambrin	152
F.3 Roll#2229043330 - Request to Waive Tax Penalty Presented by: Councillor Don Waldorf	162
F.4 Agricultural Appeal Board Bylaw Amendment - Bylaw 08/2025 (3rd Reading) Presented by: Municipal Advisor Harry Riva Cambrin	164
G. CONFIDENTIAL CLOSED SESSION	

G.1 Advice from Officials - FOIP s. 24

G.2 Engineering Services 2025-2027 - Tender Award - FOIP s. 16

Presented by: Senior Engineering Technologist Wiaan Kruger

G.3 Alberta Community Peace Officer - Law Enforcement Duty Risk Assessment & Mitigation Report - FOIP s. 24

Presented by: Deputy Director of Community and Emergency Services
Peter Stapley

H. MOTIONS ARISING FROM CONFIDENTIAL CLOSED SESSION

I. OTHER MATTERS

I.1 Lunch

I.2 Accounts – February 19, 2025


Councillors Alger, Oel and Siewert

I.3 Minutes – February 12, 2025

I.4 Committee Reports

I.5 Next Meeting – February 26, 2025

I.6 Adjourn

COUNCIL ADMINISTRATIVE REPORT Departments: Public Works, Community and Emergency Services		
TITLE: Traffic Report: Intersection of 32 St E and 314 Ave E		
Authors: Wiaan Kruger, Senior Engineering Technologist Peter Stapley, Deputy Director, Community and Emergency Services Presenters: Wiaan Kruger, Senior Engineering Technologist Peter Stapley, Deputy Director, Community and Emergency Services		Date: Feb 19, 2025
Attachments:	Original petition and Map	

PURPOSE:

Council directed administration to conduct updated traffic counts and traffic data for 32 St E and 314 Ave E north of the Okotoks Boundary, within Division 7.

BACKGROUND:

The request for the stop sign controlled intersection originated from a petition presented to Council from local landowners.

A total of 28 homeowners (some from the same household) signed the petition to request a 3-way STOP at the 314 Ave E and 32 St E intersection.

Bylaw 16/2023 passed third reading on March 29, 2023.

Bylaw 16/2023: Stop Sign Installation - 314 Avenue East and 32 Street East


Bylaw 16/2023 was reintroduced into the meeting to authorize installation of STOP signs (RA-1) at the intersection of 314 Avenue East and 32 Street East (northbound and southbound traffic) as an interim measure.

Administration is to bring back Bylaw 16/2023 for Councils review and consideration after a three-year period for re-evaluation due to upgrades being done to Highway 2A and Highway 2.

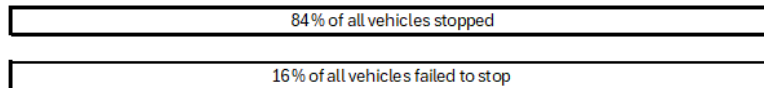
The signs were installed on April 6, 2023.

DISCUSSION:

The chart below summarizes observed stop sign violations. The monitoring was conducted by practicum students.

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Observed Stop Sign Violations											
Date	Times	Total count	West Bound			Northbound			Southbound		
			Stopped	Failed	Percentage	Stopped	Failed	Percentage	Stopped	Failed	Percentage
Feb. 3	0745 to 0930	129	8	0	0%	42	4	9%	74	1	1%
	1425 to 1600	153	13	0	0%	51	9	15%	72	8	10%
Feb. 6	0842 to 0942	65	4	0	0%	22	9	29%	25	5	17%
	1502 to 1602	141	7	1	13%	33	21	38%	61	18	23%
Totals		488	32	1	3%	148	43	29%	232	32	14%
Percentage of traffic		100%	6.50%	0.20%		30%	9%		47.50%	6.50%	



The information below illustrates the updated traffic counts for **32 St E**:
 2011 Average Annual Daily Traffic (AADT): 1176
 2025 Average Annual Daily Traffic (AADT): 1202
26 vehicles per day (VPD) increase since 2011 (2.2 % increase in 14 years)

The information below illustrates the updated traffic counts for **314 Ave E**:
 2006 Average Annual Daily Traffic (AADT): 101
 2025 Average Annual Daily Traffic (AADT): 171
70 vehicles per day (VPD) increase since 2006 (69.3% increase in 19 years)

Request of Council:

That Council accept the report as information.

COUNCIL ADMINISTRATIVE REPORT

Departments: Public Works, Community and Emergency Services



TITLE: Traffic Report: Intersection of 32 St E and 314 Ave E

Authors: Wiaan Kruger, Senior Engineering Technologist
 Peter Stapley, Deputy Director, Community and Emergency Services
Presenters: Wiaan Kruger, Senior Engineering Technologist
 Peter Stapley, Deputy Director, Community and Emergency Services

Date: Feb 19, 2025

Attachments: Original petition and Map


Petition to *Installation of Stop Signs 32 St N/S @ 314 Ave E*

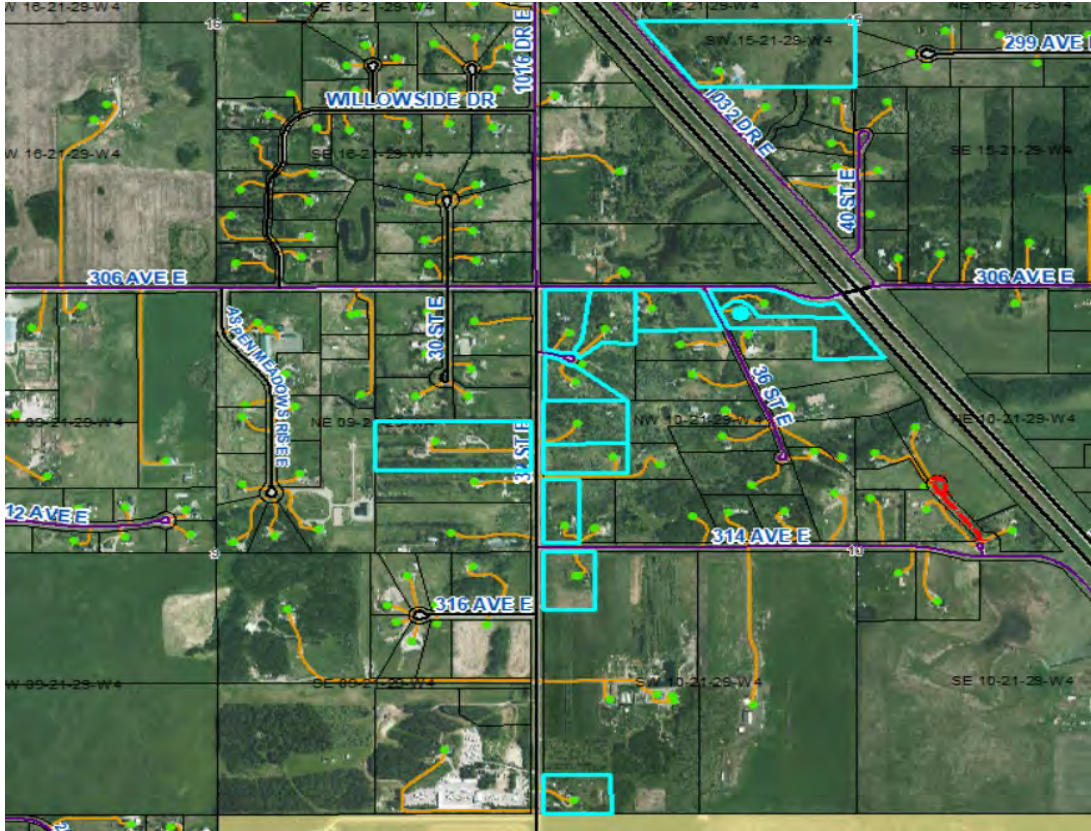
Petition summary and background	<i>Install STOP SIGNS - Safety & Traffic volume issue</i>			
Action petitioned for	<i>Installation of Stop Signs 314 Ave E @ 32 St.</i>			

Printed Name	Signature	Address	Comment	Date
HARRY WILSON	[Redacted]	306080 - 32 St. E.		Feb 3/23
ANNETTE WILSON	[Redacted]	306080 - 32 St. E.		Feb 3/23
Brenda Leaney	[Redacted]	32043-306 Ave E		Feb 3/23
MARTIN LEANEY	[Redacted]	32043 - 306 AVE		Feb/23
David Purser	[Redacted]	32019 - 314 AVE		
VOJISLAV V.	[Redacted]	#200 306012 - 36 St E		03/02/23
DRAGANA V	[Redacted]	#200 306012 - 36 St E		03/02/23
Mark Mitzsch	[Redacted]	#200 306012 - 36 St E		03/02/23
Claire MacEachern	[Redacted]	32019B 314 Ave E		Feb 4/23
Rosalie Rogato	[Redacted]	#100 32020 - 314 Ave E		Feb 6/23
Kiwi Rogato	[Redacted]	100 52020 314 Ave E		Feb 6/23
Jackie Brink	[Redacted]	32019 314 Ave E		Feb 6/23

stop signs 314 - 32 St


Printed Name	Signature	Address	Comment	Date
Brad Pilling	[Redacted]	32006 - 308 Ave E		02/07/23
Toni Pilling	[Redacted]	32006 - 308 Ave E		02/07/23
Luis Skater	[Redacted]	32016 - 308 Ave E		02/07/23
Lisa Skater	[Redacted]	32016 - 308 Ave E		02/07/23
GLEN PANTCH	[Redacted]	45 PANTCH RD OKOTAKS #		02/07/23
Dehnon Jung	[Redacted]	290168 1032nd Dr E		
Jesse Taylor	[Redacted]	306085 32st E		02/07/23
Jodi Taylor	[Redacted]	306085 3st E		02/08/23
Mauraen Baustad	[Redacted]	306012 - 36 St E		02/08/23
Jared Baustad	[Redacted]	" "		"
Rob Baustad	[Redacted]	" "		"
Bill Campbell	[Redacted]	32011 308 Ave		02/08/23
Diane Campbell	[Redacted]	32011 308 Ave		02/08/23
Marian Heinz	[Redacted]	#100 306100 - 32 Ave		2/10/23
SARAH ARSENAULT	[Redacted]	3110088 32 St E		12/FEB/23
WATT ARSENAULT	[Redacted]	3110088 32 St E		12/FEB/23

COUNCIL ADMINISTRATIVE REPORT Departments: Public Works, Community and Emergency Services		
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Attachments:	Original petition and Map	



Map: Homeowner who signed the petition

**PUBLIC HEARINGS AND MEETINGS
 PLANNING AND DEVELOPMENT REPORT TO COUNCIL
 SITE SPECIFIC AMENDMENT
 February 19, 2025
 To be heard at: 10:00 AM**

APPLICATION INFORMATION		File No. 25R007
	LEGAL DESCRIPTION: Ptn. SE 27-20-29 W4M; Plan 2210304, Block 8, Lot 18	
	LANDOWNER: Amy Dunham	
	AGENT: Timbercreek Homes Inc.	
	AREA OF SUBJECT LANDS: 0.8 acres	
	CURRENT LAND USE: Residential Community Sub-district 'A'	
PROPOSAL: Site Specific Amendment to Section 13.4.6.4 – <i>Utility Servicing Criteria</i> of the Residential Community District to allow for the existing non-compliant on-site wastewater holdings tanks to remain instead of installing the required tertiary treatment system on the subject parcel.		
DIVISION NO: 7	COUNCILLOR: R.D. McHugh	
FILE MANAGER: Brittany Domenjoz		

PREAMBLE:

The subject parcel is located within Phase 2B of the Green Haven Estates ASP, Council granted subdivision approval for this phase in 2017 allowing the creation of 23 x 0.8 acre Residential Community Sub-district 'A' (RCA) lots. All of the requirements were completed, and the subdivision was registered in 2022.

During the land use application for Phase 2B, the residential lots were designated as RCA to ensure that a development permit process would be undertaken on each lot to confirm that all required setbacks/building envelopes were met, and that all restrictions and recommendations as noted within the Stormwater Management plan, Lot Grading plan, High Water Table Testing and Septic Disposal analysis were undertaken in the building process, as well as ensuring that high efficiency tertiary wastewater treatment systems were installed.

A Development Permit application for the construction of a Single Family Dwelling with attached Oversized Garage on the subject parcel was submitted and conditionally approved on September 7, 2022. The Development Permit submission included all of the typical development permit application requirements, and this application also included the required stamped plot plan, executed building grade slip/form and a signed declaration of understanding for wastewater servicing to ensure that a tertiary/mechanical septic system is installed. To date, the conditions of the DP have not been finalized due to the installation of holding tanks rather than the required tertiary/mechanical septic system.

In September of 2024, a new Development Permit application was submitted for the subject parcel for a Personal Use Accessory Building and Lot Grading associated with the excavation and construction of an outdoor pool. Upon review of this application, the County was informed that 2 x 5000 gal on-site wastewater holdings tanks were installed instead of the required tertiary/mechanical treatment system. As such, the applicants have submitted a Site Specific Amendment for Councils consideration. This Development Permit is currently deemed as incomplete until the non-compliant wastewater system that was installed on the subject parcel is addressed, which is the purpose of this Site Specific Amendment application.

EXECUTIVE SUMMARY:

Proposal

Application proposing a Site Specific Amendment to Section 13.4.6.4 – *Utility Servicing Criteria* of the RC District to allow for the existing non-compliant on-site wastewater holdings tanks to remain instead of installing the required tertiary treatment system on the subject parcel.

Location

The subject parcel is located within Phase 2B of the Green Haven Estates development and accessed from the internal subdivision road, Green Haven View. Green Haven Estates is located directly east and south of the Town of Okotoks and directly west of 48th Street East.

Policy Evaluation

The subject parcel has been reviewed within the terms of the Foothills County and Town of Okotoks Intermunicipal Development Plan, the Green Haven Estates Area Structure Plan and Land Use Bylaw 60/2014.

Referral Considerations

The application was circulated to all internal and external agencies. The Public Works department has reviewed the onsite wastewater evaluation report and provided that if the contractor/builder would have followed the Level 4 PSTS there would have been space for the correct treatment system to be installed as well as space for a back up system in case of failure however this may no longer an option due to the large excavation and disturbed soils at the back of the lot and the installation of the tanks in the NW corner. Further, the Town of Okotoks provided that they have no comment on the application.

PURPOSE OF APPLICATION:

The applicants have applied for a Site Specific Amendment to Section 13.4.6.4 – *Utility Servicing Criteria* of the RC District. The application identifies:

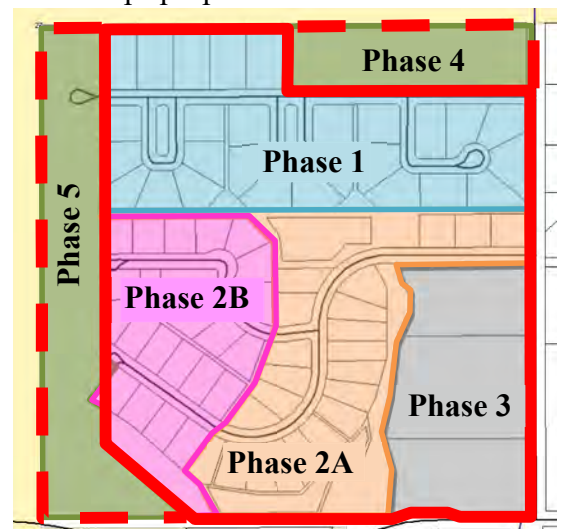
- Wastewater holdings tanks were installed on the subject parcel rather than the required tertiary treatment system.
- An onsite wastewater evaluation report was completed by Groundstar Contracting Ltd. Further information regarding this evaluation and the requirements for on-site wastewater servicing have been provided in the Servicing Criteria section of this report.

BACKGROUND:

The Green Haven Estates ASP was originally adopted in 2007, which included phases 1, 2 and 3, outlined in red. In 2023, Council granted first reading to Bylaw 41/2023 to adopt proposed amendments to the ASP, outlined by the red dashed lines, allowing for 2 new phases, referred to as Phases 4 & 5, this application has not yet been finalized.

In 2012, Council granted 1st reading to Bylaw 63/2012 authorizing the redesignation of the Phase 2 and 3 lands. At this time, the land use was redesignated to Hamlet Residential Sub-district “A” and the Utility Servicing Criteria for the subject lands was to be provided by communal water and individual on-site high efficiency septic systems.

Please note: In 2022, Council approved amendments to the Land Use Bylaw, including revising the name of the Hamlet Residential (HR) District to Residential Community (RC) District. This is the reason for the land use of the subject lands



now being referred to as RC / Residential Community Sub-district “A” (RCA) instead of HR / Hamlet Residential Sub-district “A”(HRA).

Phase 1: Residential Community District parcels, registered in 2012. Communal water treatment and distribution facility was also established in Phase 1.

Phase 2A: Residential Community Sub-district ‘A’ parcels, registered in 2015.

Phase 2B: Residential Community Sub-district ‘A’ parcels, registered in 2022.

Phase 3: Residential Community Sub-district ‘A’ parcels, subdivision conditionally approved and has not been registered yet.

The residential lots within Phases 2 and 3 were designated as RCA to ensure that a development permit process would be undertaken on each lot to confirm that all required setbacks/building envelopes were met, and that all restrictions and recommendations as noted within the Stormwater Management plan, Lot Grading plan, High Water Table Testing and Septic Disposal analysis were undertaken in the building process, as well as ensuring that high efficiency tertiary wastewater treatment systems were installed.

Phase 4 and 5: Country Estates Residential Sub-District ‘A’ (CERA) parcels, received first reading to Bylaw 42/2023 on June 28, 2023.

The new lots within Phases 4 and 5 will be designated as CERA to ensure that considerations, recommendations, and restrictions within Stormwater Management Plan, Comprehensive Site Drainage Plan, Lot Grading Plans, Building Envelopes and requirements for installation of high efficiency tertiary wastewater treatment systems and adherence to the 100 meter setback requirement of a wastewater system to a production water well are complied with.

SITE CONSIDERATIONS:

Access

The subject parcel is accessed from an internal subdivision road being Green Haven View that was constructed within a 25 m wide right-of-way and has a paved surface. This road was constructed as part of Green Haven, Phase 2B subdivision and was constructed to meet municipal standards. Public Works provided that some concerns with pump out tanks include additional heavy traffic on the road system.

Physiography

The subject parcel has generally flat to rolling terrain with an escarpment (in excess of 15%) that runs along the lands to the southwest, which is currently designated as Environmental Reserve.

Site Improvements

Existing Development on the parcel includes a residence with an attached garage, approved under Development Permit (22D 169). Excavation on the lot has been started to support the construction of an inground pool. The excavation of the site has recently stopped, and a DP was applied for in September of 2024 to allow for Lot Grading (in support pool excavation) and for the construction of a proposed +/- 480 sq. ft. pool house. The DP is currently deemed as incomplete until the non-compliant wastewater system that was installed on the subject parcel is addressed, which is the purpose of this Site Specific Amendment application.

Servicing Criteria

The subject parcel is currently serviced by the piped Municipal Water and the existing non-compliant on-site wastewater holding tanks.

Wastewater in Green haven Estates Phases 2 and 3 is to be provided via the installation of individual on site tertiary treatment / mechanical septic systems. Lots within Phase 2B (including the subject parcel) must meet the requirements of the Level 4 Assessment Report that was completed on August 12, 2019 by SD Consulting Group – Canada Inc. This assessment was required as a condition of subdivision for Phase 2B, it identifies two viable locations on each lot for the installation of the required tertiary treatment

systems. As such, the applicants are requesting Councils consideration to allow for the existing holding tanks to remain instead of installing the required tertiary/mechanical treatment system.

As noted previously, the applicants have submitted an onsite wastewater evaluation report that was completed by Groundstar Contracting Ltd. This evaluation provides that holding tanks have been chosen as a suitable on-site wastewater system due to the size of the property, soil types as well as the conditions of development. The evaluation further speaks to the calculations, area and setbacks that would be required for the installation of a CSA approved packaged treatment system. Further, the report identifies that due to the constraints of the drainage to the south and west sides of the proposed installation area, the minimum setback from the home could not be achieved.

Public works provides that the Phase 2B Level 4 PSTS was completed as a design to follow during construction and is to guide the potential layout of the required PSTS area. If the contractor/building would have followed the PSTS there would have been space for the correct treatment system to be installed as well as space for a back up system in case of failure. The department has reviewed the onsite wastewater evaluation report and notes that the report was done post construction, excavation and soil disturbance of the rear yard; therefore, there was the potential for the correct treatment system to be installed however this may no longer an option due to the large excavation and disturbed soil at the back of the lot. The onsite wastewater evaluation report and plot plan showing the measurements are attached as Appendix B.

REFERRAL CIRCULATION:

CIRCULATION REFERRALS	
REFEREE	COMMENTS
INTERNAL	
Public Works	<p>Public Works provided the following comments:</p> <ul style="list-style-type: none"> • Concerns with pump out tanks include additional heavy traffic on the road system. • The level 4 PSTS was completed as a design to follow during construction and give guidance on the potential layout of the required PSTS area. If the contractor/builder would have followed the PSTS, there would have been space for the correct treatment system to be installed as well as space for back up system in case of failure. • The evaluation report was done post construction, and excavation and soil disturbance of the rear yard. This report explains why the tanks were chosen. It is important to note that there was the potential for the correct treatment system to be installed. This may no longer an option due to the large excavation and disturbed soil at the back of the lot and the installation of the tanks in the NW corner. Without those disturbances there would have been space for the correct treatment system to be installed in the rear with a potential secondary location along the east or west boundary. • The Level 4 PSTS done for Green Haven used a design flow of 450 igpd. The total area required for subsurface disposal was 232 m2 and an additional 232 m2 required for a secondary reserve area. The evaluation report calculated an additional 71.5 igpd due to additional fixtures. With a peak daily flow of 521.5 igpd, the treatment area required is 252.6 m2.

CIRCULATION REFERRALS	
	<ul style="list-style-type: none"> • To conclude, with the excavated and disturbed soil in the rear of the yard, and the installation of tanks in the NW corner, there is likely no room remaining to install any packaged treatment plant. • If the existing holding tanks are not supported, an engineer’s review of the site would be recommended to determine if there is a suitable location remaining on the site for the required treatment system and secondary back up location.
EXTERNAL	
Town of Okotoks	The Town of Okotoks has no comment on this application.
PUBLIC	
Western Wheel	February 5, 2025 and February 12, 2025
Landowners (half mile)	<p>Notice of this application was mailed to area landowners within one-half mile of the subject parcel on January 29, 2025.</p> <p>1 letter was received prior to the submission of this report and included as Appendix E.</p>

POLICY EVALUATION:

Land Use Bylaw 60/2014

The Hamlet Residential District (in 2012, at the time of land use redesignation approval) provided that the Utility Servicing Criteria is to be communal water and communal wastewater disposal systems however, Council approved an alternative servicing strategy that was proposed by the developer, being communal water and individual on-site high efficiency septic systems. The subject lands are currently designated as Residential Community Sub-district “A” (RCA), which provides the same Utility Servicing Criteria as noted above. The RC District is included in the report as Appendix D.

As such, the subject parcel does not align with the utility servicing that was approved as part of the land use application for Phases 2 and 3 of the Green Haven Estates ASP.

Green Haven Estates Area Structure Plan

The subject parcel does not generally align with the policy direction noted within the Green Haven Estates Area Structure Plan, specifically with respect to Policy 4.9.1.5 which provides that should a communal system not be feasible, the developer may install individual systems to the satisfaction of the County.

Foothills County and Town of Okotoks intermunicipal Development Plan

The subject parcel is located within the Foothills County and Town of Okotoks Intermunicipal plan area. The Town of Okotoks was circulated on this application, and they do not have any comments with respect to this application.

SUMMARY:

Bylaw XX/2025 - Application for a Site Specific Amendment to Section 13.4.6.4 – *Utility Servicing Criteria* of the Residential Community District to allow for the existing non-compliant on-site wastewater holdings tanks to remain instead of installing the required tertiary treatment system on the subject parcel, being, Ptn. SE 27-20-29 W4M; Plan 2210304, Block 8, Lot 18.

OPTIONS FOR COUNCIL CONSIDERATION:

OPTION #1 – APPROVAL

Council may choose to grant 1st reading to the application for a Site Specific Amendment to Section 13.4.6.4 – *Utility Servicing Criteria* of the Residential Community District to allow for the existing non-compliant on-site wastewater holdings tanks to remain instead of installing the required tertiary treatment system on the subject parcel, being, Ptn. SE 27-20-29 W4M; Plan 2210304, Block 8, Lot 18, subject to the following:

1. Final Site Specific Amendment application fees to be submitted;

OPTION #2 REFUSAL

Council may choose to refuse the application for a Site Specific Amendment to Section 13.4.6.4 – *Utility Servicing Criteria* of the Residential Community District to allow for the existing non-compliant on-site wastewater holdings tanks to remain instead of installing the required tertiary treatment system on the subject parcel, being, Ptn. SE 27-20-29 W4M; Plan 2210304, Block 8, Lot 18, for the following reasons:

In consideration of the Green Haven Estates Area Structure Plan and the previously approved servicing strategy, Council is of the opinion that the Site Specific Amendment to the land use district, and existing non-compliant wastewater holding tanks do not meet the intent of Policy 4.9.1.5 of the Green Haven Estates ASP or the servicing strategy that was approved for these lands.

APPENDICES:

APPENDIX A: MAP SET

MAP 1 – LOCATION MAP

MAP 2 – SITE PLAN

MAP 3 – ORTHO PHOTO

APPENDIX B:

ONSITE WASTEWATER EVALUATION REPORT BY GROUNDSTAR CONTRACTING

APPENDIX C:

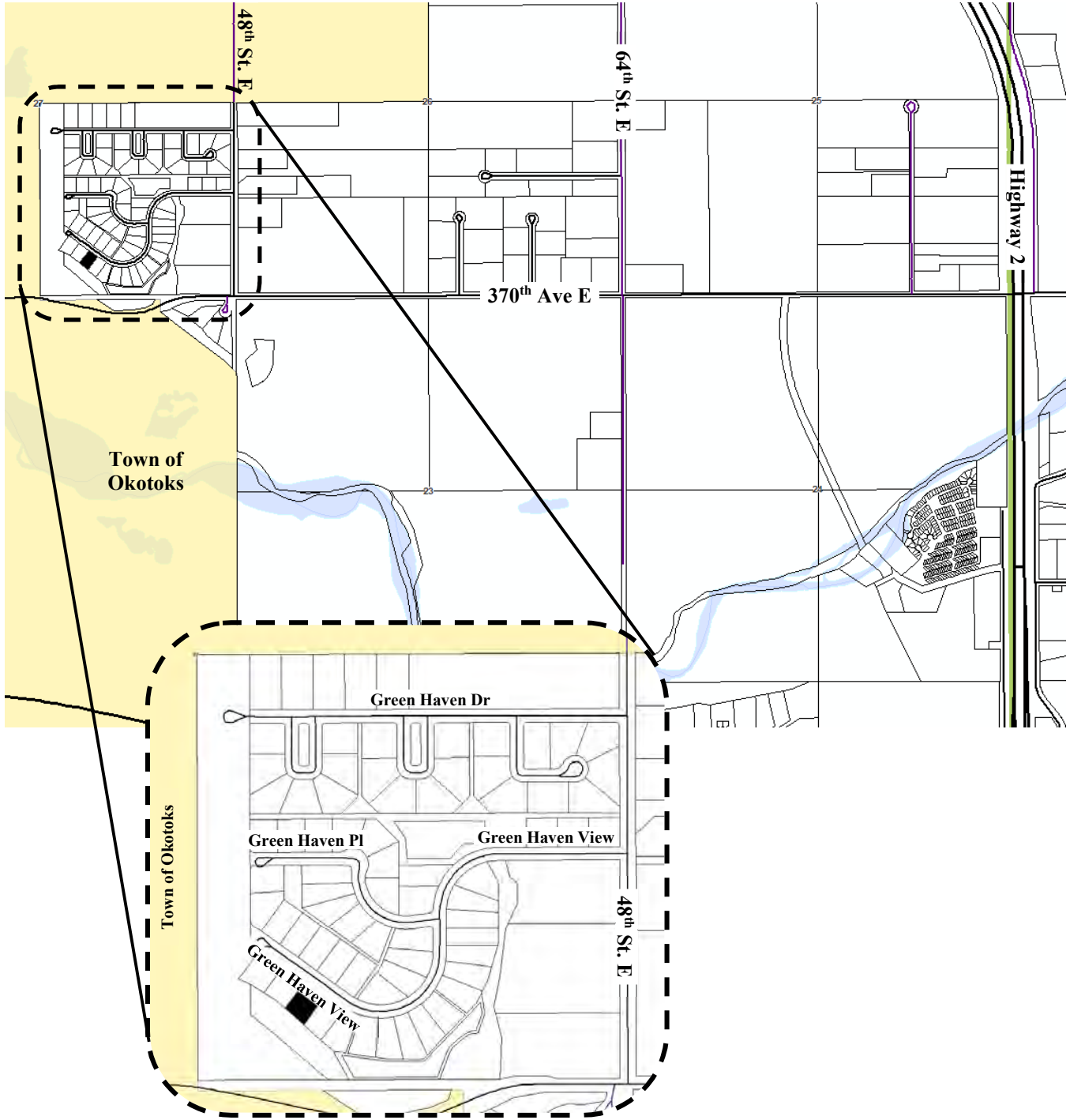
PROPOSED BYLAW

APPENDIX D:

RESIDENTIAL COMMUNITY DISTRICT

APPENDIX E:

AREA LANDOWNER LETTER





ONSITE WASTEWATER EVALUATION REPORT BY GROUNDSTAR CONTRACTING



Onsite Wastewater Evaluation Report

Assessment completed by: Royce Neigum of Groundstar Contracting Ltd. PSDS #9609

Customer: Timber Creek Homes

Project Address: 574 Green Haven View

Project Details: Septic system suitability assessment

An evaluation of the above property was completed to assess the suitability of an onsite wastewater treatment system. Based on the size of the property and soil type, as well as the conditions of the development, holding tanks have been chosen as a suitable onsite wastewater system.

The proposed development served is a 2498 square foot 4 bedroom detached home. A preliminary fixture unit count was taken and an additional flow volume of 71.5 Imp Gal was added to design considerations. After initial review of the plans, we could assume this system is to be designed based on a peak daily flow of 521.5 Imp Gal. This development will require a higher than normal effluent treatment due to site constraints so a packaged treatment plant delivering effluent to a sand mound or concrete holding tanks would be suitable here. Calculations for sizing are provided below.

Option 1: The first option would be installation of a CSA approved packaged treatment plant supplying a secondary treated effluent to a sand mound as tertiary treatment for this development will consume an area of approximately 2,719.5 square feet. The sand layer will be 115 feet in length and 6.5 feet wide and covering approximately 751 square feet. The overall width of the completed sand mound will be 21 feet wide and 129.5 feet long. These measurements are calculated based on a Clay Loam soil type and applicable effluent loading rates related to this soil type.

Option 2: The second option for this development would be installation of CSA approved concrete holding tanks.

Wastewater Treatment Design Details

Option 1:

The calculations are below for this development with a packaged treatment plant delivering secondary treated effluent to a sand mound treatment area where effluent will be evenly disbursed via pressure distribution piping.

Treatment Mound Sizing Calculations

The soil type that exists below the sand mound area is Clay Loam with a secondary treated effluent loading rate of 0.45 Imp. Gal./Day/Square Foot. The development is assumed to have a peak daily wastewater flow volume of 521.5 Imp. Gal.

In Situ Soil Infiltration Area:

Required:	1158 Square Feet
Provided:	3318 Square Feet
Slope of area:	<1%
Total toe to toe mound width:	21(6.4m) Feet
Total toe to toe mound length:	157 (48.17m) Feet

Sand Layer Details:

Maximum wastewater flow volumes:	521.5 Imp. Gal.
Hydraulic linear loading rate:	3.7 Imp. Gal./Day/Linear Foot
Sand layer area provided:	628 Square Feet
Sand layer effluent loading rate:	0.83 Imp. Gal./Day/Square Foot
Sand layer width:	4.49 Feet
Sand layer length:	140 Feet

Required Separation Distances:

A packaged treatment plant shall not be located within:

- 10m (33ft) from a water course**
- 10m (33ft) from a water source or water well**
- 6m (20ft) from a property line**
- 1m (3.25ft) from a building**

Note: A packaged treatment plant may be located 1m (3.25ft) from property line if;

- a) It is equipped with odour control mechanisms**
- b) The development has peak flows of less than 5.7m³ per day**
- c) The wastewater strength does not exceed typical levels of residential effluent strength**

Treatment Mounds:

15m (50ft) from a water source

100m (330ft) from a licensed municipal water well

15m (50ft) from a water course, except as provided in Article 2.1.2.4

2.1.2.4.

Separation from Specific Surface Waters

1) The soil - based treatment component of an on -site wastewater treatment system shall be located not less than 90 m (300 ft.) from

the shore of a1

a) lake,

b) river,

c) stream, or

d) creek.

1Intent: Sentence (1) —The terms “lake,” “river,” “stream,” or “creek” are used

specifically to separate them from other types of water courses to which this article does not apply. The purpose is to cause the location of the soil -based treatment component to be far enough from the body of water that upon a failure of surfacing effluent the effluent will not quickly and directly flow into the body of water. Alternatively, as set out in Sentence (2), the soil-based treatment component can be positioned on the lot, away from the body of water and in a location that will make a failure more easily noticed and upon failure will create an immediate inconvenience for the owner. This should result in a faster repair of the system. To achieve the intent of Sentence (2) the building does not have to be directly between the system and body of water. A water - tight septic tank or similar water tight initial treatment component does not need to meet the requirements of this Article.

3m (10ft) from property line

10m (33ft) from a basement, cellar, or crawl space

10m (33ft) from a building that does not have a basement, cellar, or crawl space

3m (10ft) from a septic tank

Option 2:

Maximum daily flow:	521.5 Imp. Gal/Day
Average daily flow:	250 Imp. Gal/Day
Holding Tank Volume:	10,000 Imp Gal
Days of holding based on peak flow	19 Days
Days of holding based on average flow	40 Days

Holding tanks shall not be located within:

10m (33ft) from a water course

10m (33ft) from a water source or water well

6m (20ft) from a property line

1m (3.25ft) from a building

In closing, calculations were completed and measurements were done to fit the tertiary treatment system on this site. With the constraints of the drainage right of way to the South and the West side of the proposed installation area the maximum area was taken and the minimum area for setback from the home could not be achieved. The plot plan is attached to show measurements for reference. Also, with the system situated directly against the drainage swales to the South and the West the risk of effluent breakout was of great concern. If there was ever a failure within the system the effluent would escape directly into the drainage swale and potentially contaminate the downstream components leading to unknown environmental hazards. Although holding tanks are not ideal for the system owner this is the only design that would be able to serve this particular development. Two 5000 Imp. Gal tanks would serve this property with an approximate once a month pump out schedule.

BYLAW XX/2025

BEING A BYLAW OF FOOTHILLS COUNTY TO AUTHORIZE AN AMENDMENT TO THE LAND USE BYLAW NO. 60/2014 AS AMENDED

WHEREAS pursuant to the provisions of the Municipal Government Act, Chapter M-26 Revised Statutes of Alberta 2000, and amendments thereto, the Council of Foothills County in the Province of Alberta, has adopted Land Use Bylaw No. 60/2014 and amendments thereto;

AND WHEREAS the Council has received an application to further amend the Land Use Bylaw by authorizing a Site-Specific Amendment to Section 13.4.6.4 – Utility Servicing Criteria of the Residential Community District land use rules to allow for the existing non-compliant on-site wastewater holding tank to remain instead of installing the required tertiary treatment system on Plan 2210304, Block 8, Lot 18; Ptn. SE 27-20-29 W4M.

NOW THEREFORE THE COUNCIL ENACTS AS FOLLOWS:

- Under SECTION 13.4. RESIDENTIAL COMMUNITY DISTRICT, the following shall be added under Section 13.4.6.4 UTILITY SERVICING CRITERIA:

To allow for the existing non-compliant on-site wastewater holding tank to remain instead of installing the required tertiary treatment system on Plan 2210304, Block 8, Lot 18; Ptn. SE 27-20-29 W4M.

- This Bylaw shall have effect on the date of its third reading and upon signing.

FIRST READING:

Reeve

CAO

SECOND READING:

Reeve

CAO

THIRD READING:

Reeve

CAO

PASSED IN OPEN COUNCIL assembled at the Town of High River in the Province of Alberta this day of 20 .

Foothills County Land Use Bylaw |

13.4 RESIDENTIAL COMMUNITY DISTRICT

RC

13.4.1 PURPOSE AND INTENT

To provide for municipally or communally serviced residential development located within Hamlet boundaries and/or in comprehensively planned developments outside of Hamlet boundaries, where supported by an adopted area structure plan and/or outline plan, consistent with the policies outlined in the Municipal Development Plan. This District was formerly named Hamlet Residential District and Residential District and includes all lands previously zoned as such in the County.

13.4.2 SUB-DISTRICT

13.4.2.1 Parcels may include the following sub-districts in cases where Council feels that there is a need. Not all parcels will be separated into sub-districts. Should a parcel include the sub-district, all district rules apply with the addition of the special provisions noted in accordance with the sub-district:

- a. Sub-district "A" is a designation added to the land use district indicating a requirement for special consideration on the development of the site and/or placement and construction of buildings or structures on the lands through approval of a development permit. Reference Section 2.4 of this Bylaw for more details on special provisions for parcels with sub-district "A".

13.4.3 GENERAL REQUIREMENTS:

- 13.4.3.1 Refer to Section 4.2 "No Development Permit Required" in the Land Use Bylaw for uses not requiring a development permit.
- 13.4.3.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

13.4.4 PERMITTED USES	13.4.5 DISCRETIONARY USES
Accessory buildings not requiring a development permit Accessory uses Dwelling, Attached (where contemplated in an approved ASP) Dwelling single family Home office Public works Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit) Temporary storage of one (1) recreational vehicle Utility services, minor	Accessory buildings requiring a development permit Antenna structures, private Bed and Breakfast Family Day Home Dwelling, Attached Dwelling, moved on Home based business Type I Home based business Type II Kennels, private Lot grading Manmade water bodies, private Secondary Suite, Principal Secondary Suite, Detached Signs requiring a development permit Solar Power System, Private requiring a Development Permit Temporary storage of up to 2 unoccupied recreation vehicles

13.4.6 LAND USE REQUIREMENTS

- 13.4.6.1 A person who wishes to subdivide land in this district into additional lots must first apply for and be granted approval of a land use bylaw amendment.
- 13.4.6.2 In order to facilitate the purpose and intent of this district and ensure the comprehensive development of Residential Community uses within the District, the following applies to applications for subdivision:
 - a. Parcel Density:
 - i. Minimum 3 gross units per acre (3 gross upa);
 - ii. Maximum 10 gross units per acre (10 gross upa).
 - b. Minimum Parcel Size:
 - i. 464m² (0.11 acres);
 - ii. The area in title at the time of passage of this Bylaw.
 - c. Maximum Parcel size:
 - i. 0.32 ha (0.80 ac) unless the lot forms part of a condominium plan; or
 - ii. The area in title at the time of passage of this Bylaw.
- 13.4.6.3 Required Developable Area:
 - a. In accordance with Section 9.8 of this Bylaw.
- 13.4.6.4 Utility Servicing Criteria
 - a. Communal water and communal wastewater disposal systems;

13.4.7 DEVELOPMENT REQUIREMENTS

- 13.4.7.1 Maximum Lot Coverage:
 - a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than 50 percent of the lot area.
- 13.4.7.2 Maximum Dwelling Unit Density
 - a. Maximum dwelling unit density for a parcel is one Dwelling, Single Family in accordance with Section 10.10, and one Dwelling, Secondary Suite in accordance with Section 10.26.
 - b. Or as determined by the Approving Authority in accordance with an approved Area Structure Plan or Outline Plan.
- 13.4.7.3 Minimum Yard Setbacks Requirements
 - a. Front Yard Setbacks:
 - i. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater;
 - ii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
 - iii. 48m (157.48 ft) from the centreline of a Municipal road;
 - iv. 15m (49.21 ft) from internal subdivision road outside of a hamlet boundary;
 - v. 4m (13.12 ft) from the right of way of a municipal road or internal subdivision road located within a hamlet boundary.

Foothills County Land Use Bylaw |

- b. Side Yard Setbacks:
 - i. 1.5m (4.92 ft) from the property line.
 - ii. Notwithstanding sub-section 13.4.7.3 (b)(i), the side yard setbacks do not apply to the common wall side of a structure where a common wall exists
- c. Rear Yard Setbacks:
 - i. Principal Building – 8m (26.25 ft) from the property line;
 - ii. Accessory Building – 1m (3.28 ft.) from the property line; and
 - iii. Decks and associated staircases (steps) may project into the rear yard setback to a maximum of 1.5m (4.92 ft.);
- d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.
- e. See Section 13.4.8 “Exceptions” for any setbacks exemptions that have been approved by Bylaw for particular developments.

See Section 9.27.9 through 9.27.12 for additional provisions regarding setbacks pertaining to parcels with two frontages.

13.4.7.4 Corner Parcel Restrictions:

- a. In accordance with Section 9.27.9 - 9.27.12.;

13.4.7.5 Other Minimum Setback Requirements:

- a. See Section 9.27 “Special Setback Requirements” of this bylaw for additional setback requirements that may apply.

13.4.7.6 Maximum Height of Structures:

- a. Principal buildings, first vehicle garage, and car ports:
 - i. 12m (39.37 ft.)
- b. Accessory Buildings:
 - i. 10.67m (35 ft.)
- c. Radio antennas, internet towers and wind turbines
 - i. 16m (52.49 ft.);

13.4.7.7 Minimum habitable area per dwelling

- i. 84 sq. m. (904.20 sq. ft.)

13.4.8 EXCEPTIONS:

- 13.4.8.1 Secondary Suites are not permitted on any lot with the hamlets of Heritage Pointe or Priddis Greens.

Heritage Pointe Development:

- 13.4.8.2 Front yard setbacks: 4m (13.12 ft.) from the property line adjacent to the internal road for all residential properties under the Heritage Pointe Area Structure Plan;

Foothills County Land Use Bylaw

- 13.4.8.3 Rear yard setbacks: 3m (9.84 ft.) from the property line, only on those lots located on “Ravine Drive” in Heritage Pointe in accordance with Bylaw 805 including the CRR49 District amendments from 1986;
- 13.4.8.2.i Bareland Condominium Units on “Ravine Drive” in Heritage Pointe shall be no less than 3.048m (10 ft.) between buildings;
- 13.4.8.4 Front Yard setbacks: relaxation of up to 90% on front yard setbacks for corner lots for those properties under the Heritage Pointe Area Structure Plan;
- 13.4.8.5 Dwelling, attached is a Discretionary Use only on parcels along “Ravine Drive” in Heritage Pointe;
- 13.4.8.6 Rear yard setbacks: 1.5 meter encroachment into regular rear yard setbacks requirements for above grade decks; for those properties within Heritage Pointe Area Structure Plan area;
- 13.4.8.7 A garage up to 50% of the dwelling size (provided that the garage does not exceed a maximum of 2,400 sq. ft.) split into two different structures, either attached or detached from the residence is permitted on parcels that are located on lands within the Heritage Pointe Area Structure Plan.

See Section 13.4.8.1 - Secondary Suites are not permitted on any lot with the Hamlet of Heritage Pointe.

Heritage Pointe Stage 3 - Artesia Development:

- 13.4.8.8 Front yard setbacks: 4m (13.12 ft.) from the property line adjacent to the internal road; for those properties within the Heritage Pointe Stage 3 Area Structure Plan area - Artesia;
- 13.4.8.9 Side Yard setbacks: relaxation of up to 90% on side yard setbacks on corner lots provided the front yard is designated by the developer for those properties within Heritage Pointe Stage 3 Area Structure Plan area - Artesia;
- 13.4.8.10 Rear yard setbacks: 1.5m encroachment into regular rear yard setbacks requirements for above grade decks; for those properties within Heritage Pointe Stage 3 Area Structure Plan area - Artesia;
- 13.4.8.11 Maximum Height Requirement: relaxation of the maximum height requirements for all buildings to 12m within Heritage Pointe Stage 3 Area Structure Plan area - Artesia;
- 13.4.8.12 Dwelling, attached is a discretionary use on parcels along “Artesia Gate” “Spring Water Bay, and “Spring Water Close” in Heritage Pointe Stage 3 – Artesia
- 13.4.8.13 A garage up to 50% of the dwelling size (provided that the garage does not exceed a maximum of 2,400 sq. ft.) split into two different structures, either attached or detached from the residence is permitted on parcels that are located on lands within the Heritage Pointe Stage 3 – Artesia Area Structure Plan.

See Section 13.4.8.1 - Secondary Suites are not permitted on any lot with the Hamlet of Heritage Pointe which includes Artesia Development.

Greenhaven Development:

- 13.4.8.14 Front yard setbacks: 8m (26.25 ft.) from property line adjacent to 48th St. E; for those properties registered as Plan 1210671, Block 3, Lots 3 – 5;
- 13.4.8.15 Front yard setbacks: 4m (13.12 ft.) from the property line adjacent to Green Haven Drive and 100 Green Haven Court; for those properties registered as Plan 1210671, Block 3, Lots 3 – 5;

Foothills County Land Use Bylaw

- 13.4.8.16 Front yard setbacks: 8m (26.25 ft.) from the property line adjacent to 48th St. E. to; for those properties included in Phase 2 & Phase 3 of the Green Haven Estates Area Structure Plan;
- 13.4.8.17 Front yard setbacks: 4m (13.12 ft.) from the property line adjacent to the internal road; for those properties registered in Phase 2 & Phase 3 of the Green Haven Estates Area Structure Plan;
- 13.4.8.18 Lots within Green Haven Estates may range in size from 0.81 acres (0.33 ha) to 2.54 acres (1.03 ha.), in accordance with the Green Haven Estates Area Structure Plan;

Priddis Greens Development:

- 13.4.8.19 Dwelling, attached is a Discretionary Use only on parcels Priddis Greens in SE 30-22-03-W5 consisting of the following plans:

Located on Sunset Way: Units 1 – 4 in the following plan numbers:

9010223, 8910127, 8910128, 8910356, 8910538, 8911028, 9010222, 9011301,
9011856, 9012391, 9110935, 9012392, 9011855, 9010650, 9010780, 89114631,
8910665.

Located on Sunrise Way: Units 1 – 4 in the following plan numbers:

8810478, 8811193, 8810198, 8711262, 8810237, 8810019, 8711609, 8810236,
8811193.

- 13.4.8.20 A garage up to 50% of the dwelling size (provided that the garage does not exceed a maximum of 2,400 sq. ft.) split into two different structures, either attached or detached from the residence is permitted on parcels that are located on lands within Priddis Greens.

See Section 13.4.8.1 - Secondary Suites are not permitted on any lot with the Hamlet of Priddis Greens.

Hawks Landing:

- 13.4.8.21 A garage up to 50% of the dwelling size (provided that the garage does not exceed a maximum of 2,400 sq. ft.) split into two different structures, either attached or detached from the residence is permitted on parcels that are located on lands within the Hawks Landing Area Structure Plan.

- 13.4.8.22 Setback: 8m (26.25 ft.) from the undeveloped road allowance right of way on the west side³ of the development located on Plan 0713569, Block 4, Lots 59-62 & Plan 0410490, Block 4, Lot 1

See Section 13.4.8.1 - Secondary Suites are not permitted on any lot with the Hamlet of Priddis Greens which includes the Hawks Landing development.

Cottonwood Development:

- 13.4.8.23 Dwelling, attached is a Discretionary Use only on parcels in S.E. 07-22-28-W4 along “Cottonwood Boulevard” in Cottonwood, consisting of Plan 0112316, Units 1-4, Plan 9212354, Units 1-4, and Plan 9410836, Units 1-4.

Hamlet of Naphtha

- 13.4.8.24 Front yard setbacks on lots within the boundaries of the Hamlet of Naphtha are reduced to 15m from the right of way of Highway #22.

From: LT <[REDACTED]>
Sent: February 11, 2025 9:55 AM
To: Public Hearings <PublicHearings@foothillscountyab.ca>
Subject: Public Hearing Participation

You don't often get email from [REDACTED]. [Learn why this is important](#)

Date: Wednesday, February 19, 2025

How I will attend: Video Conference

Name: Leanne Ivison

Mailing Address: [REDACTED]

Email address: [REDACTED]

Phone Number: [REDACTED]


Purpose for attending: neighbouring landowner in opposition to

So I wish to be clear that I am not totally against the allowance of the proposed Site Septic Amendment to the non-compliance. What I would like to see, is a better management system of the septic alarm going off for hours at a time before it is turned off. It is so loud that when it goes off, it makes being outside difficult.

Thank you,

Leanne

**PUBLIC HEARINGS AND MEETINGS
 PLANNING AND DEVELOPMENT REPORT TO COUNCIL
 AREA STRUCTURE PLAN AMENDMENT AND CONCURRENT REDESIGNATION
 February 19, 2025
 To be heard at: 1:30 P.M.**

APPLICATION INFORMATION		File No. 25R 003
	SUBJECT LANDS LEGAL DESCRIPTION: Ptn. NW 32-21-29 W4M <u>Multiple Properties:</u> Plan 2211669, Block 7, Lot 5 & Plan 1530LK, Block 1	
	LANDOWNERS: 2291463 Alberta Ltd.	
	AGENT: Township Planning + Design	
	AREA OF SUBJECT LANDS: 32.22 acres & 6.89 acres	
	CURRENT LAND USES: Residential Community Sub District 'A', Residential Multi-Family Sub District 'A', Public Utility Lot, Municipal Land Reserve Districts and Environmental Reserve.	
PROPOSED LAND USES: Residential Community Sub District 'A', Residential Multi-Family Sub District "A", Public Utility Lot, Municipal Land Reserve Districts and Environmental Reserve.		
PROPOSALS:		
<p><u>Part #1:</u> Amendments to the maps, text and policy in the Heritage Crossing Area Structure Plan (ASP) to allow for updates to the land use concept, residential typologies, density and phasing strategy.</p> <p><u>Part #2:</u> Redesignation of a Ptn. of NW 32-21-29 W4M; Plan 1530LK, Block 1 within the ASP area from Residential Community Sub District 'A' (RC-A) to Residential Multi-Family Sub District 'A' (RMF-A) to accommodate a proposed attached dwelling typology within the northern portion of the plan area.</p>		
DIVISION NO: 6	DEPUTY REEVE: Don Waldorf	FILE MANAGER: Brittany Smith

BACKGROUND:

On August 28th, 2024: Council granted 2nd and 3rd reading to Bylaws 34/2023 and 35/2023, for the adoption of the Heritage Crossing Area Structure Plan and Redesignation of the subject lands from Country Residential District and Agricultural District to Residential Community District, Residential Multi-Family District, Public Utility Lot, and Municipal Land Reserve District, and dedication of 3.20+/- acres of Environmental Reserve, with a Site-Specific Amendment to the Residential Community District to allow for amended minimum parcel sizes.

On June 21, 2024, the Calgary Metropolitan Region Board moved to designate a new Hamlet Growth Area for the Hamlet of Heritage Pointe and containing the subject ASP lands. As this designation resulted in the Heritage Crossing ASP being located within a Hamlet Growth Area with is a Preferred Growth Area and with the application proposing fewer than 200 dwellings, a Board approval of the ASP was no longer required. The ASP is still currently required to align with the CMRB Growth Plan.

EXECUTIVE SUMMARY

Summary of Proposal

Part 1 – ASP AMENDMENT:

Part 1 of the proposed ASP Amendment considers amendments to the maps, text and policy within the Heritage Crossing Area Structure Plan (ASP) with respect to the land use concept, transportation concept, density, and phasing strategy.

Staff reviewed the proposed amendments and identified that several Figures will need to be updated to support the proposed amendments, should the application be approved by Council.

Part 2 – LAND USE REDESIGNATION:

Part 2 of the proposal contemplates a concurrent application for the redesignation of a portion of the subject lands within the northern area of the plan from Residential Community Sub District 'A' (RC-A) to Residential Multi-Family Sub District 'A' (RMF-A) to accommodate for an attached dwelling typology.

The land use Map (Figure 4) has been revised to reflect a change to the location of the proposed small Public Utility Lot intended for the sanitary lift station within the northern area of the plan.

Pertinent Site Considerations

Location:

The subject properties are located south of Dunbow Road East and on the east side of 2nd Street East, directly south from the Hamlet of Heritage Pointe.

This is approximately 300 metres east of Highway 2A (Macleod Trail) at its closest point and 1.6 kilometres south of the City of Calgary boundary at its closest point. The subject lands are located within the Intermunicipal Development Plan area between the City of Calgary and Foothills County. A location map has been included within Appendix A of this staff report.

Open Space System

Open spaces within the ASP have been proposed to include paved pathways and sidewalks, parks for active and passive recreation, rain gardens and greenspaces, as well to provide buffers to adjacent lands. The ASP amendment includes a proposed revision to reduce the minimum width of buffer areas from 10m to 7.5m.

Access & Transportation

The subject lands are currently accessed through two existing standard approaches off of the east side of 2nd Street East, which then connects to Dunbow Road to the north. The internal road network will be accessed at the same locations as the existing approaches with internal roadways constructed to a standard to the satisfaction of Foothills County. A narrower road standard is proposed for internal connections to the Residential Multi-Family District properties. No access is proposed directly from Dunbow Road or 8th Street East, and all access to proposed residential parcels would be gained through the proposed internal road network.

Dedication of undeveloped road right-of-ways will accommodate future connection through to adjacent lands to the south.

Servicing Considerations

Potable Water & Sanitary Sewer/Wastewater: The Heritage Crossing ASP lands are proposed to be serviced by a piped potable water distribution system, with the intent to tie into the existing facilities within Heritage Pointe. A Conceptual Design Report determined that the existing potable

water and sanitary wastewater system operated by Bluestem (previously Corix) Utilities has sufficient capacity to service Heritage Crossing.

Storm Water: A Stormwater Management System Concept has been provided in support of the ASP and reviewed by the County's Public Works Department. Public Works has advised that further revisions and review will be required at the time of subdivision to reflect an off-site discharge target rate of 1.05L/s/ha for the 1:100 year return frequencies due to the subject parcel falling within the Pine Creek Watershed.

Policy Evaluation

The applications for the Area Structure Plan Amendment and the concurrent Land Use Redesignation have been reviewed in terms of the South Saskatchewan Regional Plan, the Calgary Metropolitan Region: Growth Plan, Servicing Plan, and Regional Evaluation Framework, the Intermunicipal Development Plan between the City of Calgary and Foothills County, the Foothills County's Municipal Development Plan, Land Use Bylaw 60/2014, the Growth Management Strategy, and the Municipal Government Act and have been found to generally align with the guiding principles and policies within each respective document.

Referral Considerations

The City of Calgary, Fortis Alberta, ATCO Transmissions, and ATCO Gas provides responses of no concern.

PURPOSE OF REQUEST

PART 1 – ASP AMENDMENT

Part 1 of the proposal considers amendments to the maps, text and policy within the adopted Heritage Crossing Area Structure Plan (Bylaw 34/2023) with respect to the land use concept, transportation concept, density, and phasing strategy.

The specific proposed amendments to the ASP are provided in a red line version of the Heritage Crossing ASP document provided in Appendix C of this staff report.

This red line version includes amendments relative to the Subject Lands as well as a few minor updates due to changes since the adoption of the ASP. They can be summarized as follows:

Throughout the document:

Specific references to "villas" and/or "seniors' bungalows" have been removed and replaced with the appropriate attached dwelling typology to align with the language within the County's Land Use Bylaw 60/2014.

Section 4.2 Community Structure

Text has been revised to update the types of dwellings that are supported within the site: including attached dwellings, semi-detached dwellings, and single-family dwellings.

Section 4.3 Figure 4: Land Use Concept

Figure 4 has been updated to show the previous Residential Community (RC) "seniors' bungalow" area as Residential Multi-Family (RMF) to allow for an attached dwelling typology and the new location for the small Public Utility Lot/Lift Station within the northern portion of the plan area.

Section 4.3 Table 2: Plan Area Statistics

Table has been revised to remove the Residential Community Bungalows, and update values for the Residential Multi Family (RMF), Residential Community (RC), Municipal Land Reserve (MLR) land use statistics and Road/Road Dedications.

Section 4.3 Table 3: Proposed Population Densities

Title of this table has been updated to read as *Proposed Maximum Population Densities*.

Section 4.3.1 General Residential Policies

Paragraph has been revised to update the dwelling typologies.

Policy 4.3.1.iii

New policy added outlining the maximum dwelling density and necessary renumbering of subsequent policies.

4.3.1.iii: The maximum dwelling density for the Plan Area shall be the maximum residential units per acres listed in Table 3. Any additional density will require an amendment to the Area Structure Plan

Policy 4.3.1.iv b.

Removal of Policy 4.3.1.iv b. regarding rear yard setbacks encroachment distances

Policy 4.3.1.vii

New policy added to increase the rear yard setback encroachment for above grade decks:

For all residential lots in the Heritage Crossing Plan Area, a 3.0 metre encroachment into regular rear yard setbacks shall be allowed to accommodate requirements for above grade decks.

Section 4.3.1.1

Replace Policy 4.3.1.1.ii to allow for a size range rather than just minimum size.

4.3.1.1.ii On the lots designated Residential Community District, lots shall range between 460 sq.m to 900 sq.m.

Remove Policy 4.3.1.1.iv that speaks to maximum dwelling density being the maximum units per acres listed in Table 3

Section 4.3.1.2 Residential Multi-Family Policies

Revise text and replace policy 4.3.1.2.i to allow for the dwellings within multi-family district to be comprised of one building with up to four dwelling units.

Policy 4.3.1.2.ii revised to update size range of lots to be no smaller than 250 sq.m and no greater than 695 sq.m.

Section 4.8 Transitional Buffer Areas

Revise text in second paragraph to reduce minimum width of buffer area from 10m to 7.5m

Figure 8: Transitional Buffer Section – revised title to read: Figure 8: Conceptual Transitional Buffer Section

Section 7.1.2 Internal Transportation Network

Second Paragraph – revised text and label for Figure 15 to read as *12m RMF District Street*

Section 8.1 Phasing

Update text within first paragraph, update Policy 8.1.iii and add Figure 17: Phasing Plan

Phasing within Heritage Crossing will generally occur in alignment with Figure 17: Phasing Plan and will be determined by market demand and servicing efficiency at the discretion of the developer. Updates to the phasing strategy may be developed at subsequent stages once the correct location for off-site and on-site servicing upgrades have been confirmed. More than one phase may proceed at the same time.

Section 9.0 Glossary

Remove the term “Villa” and subsequent definition, and replace with:

Semi-Detached Dwelling: *a housing form characterized by up to four units side-by-side on a lot. In Heritage Crossing, these are up to two-storey residences.*

PART 2: LAND USE REDESIGNATION:

Part 2 of the proposal contemplates an application to redesignate a portion of NW 32-21-29 W4M; Plan 1530LK, Block 1 from Residential Community District to Residential Multi-Family District to allow for the potential of an attached dwelling typology.

A map set identifying the area being considered for redesignation can be found in Appendix A of this staff report.

Circulation Referrals

The application was circulated to all necessary internal departments and external agencies. The responses received are summarized in the table below:

CIRCULATION REFERRALS	
REFEREE	COMMENTS
INTERNAL	
Public Works / Engineering	Public Works has advised no concerns for the proposed ASP Amendments and Redesignation, yet provided the following advisory comments: <ul style="list-style-type: none"> • The previously accepted SWMP will require revisions at the subdivision stage to reflect an off-site discharge target rate of 1.05L/s/ha for the 1:100 year return frequencies due to the area falling within the Pine Creek Watershed. • Any Sub District ‘A’ lots will need to provide a completed grade slip with the development permit and prove a grade certificate at the end of construction.
Municipal Fire Department	No response received
GIS / Mapping	No response received
EXTERNAL	

CIRCULATION REFERRALS	
City of Calgary	Provided a response expressing no comments.
ATEC	Alberta Transportation provided the following response: Transportation and Economic Corridors has no objection to the proposed amendment. The department's previously provided comments (2023-0034189) regarding the Heritage Crossing Area Structure Plan continue to apply.
Atco Pipelines	Atco Pipelines provided a letter indicating they have no concerns
Altalink	No response received
Shallow Utilities	Telus – No objections, please note that at time of development a Utility Right of Way (URW) may be required Atco Gas – ATCO Gas has no objection to the proposed. Fortis – Fortis Alberta has no concerns, please contact 310-WIRE for any electrical services.
PUBLIC	
Western Wheel	Public Hearing was advertised in the February 5 and February 12, 2025, issues of the Western Wheel.
Land Owners (1/2 Mile)	Notice of the Public Hearing was mailed to County landowners within one half mile of the plan area on January 29, 2025. No letter submissions were received prior to submission of this staff report.

SUMMARY

Proposal Part 1: Request for Approval of Amendments to ASP:

Bylaw XX/2025 – Council is requested to consider granting 1st reading to Bylaw XX/2025 to allow for amendments to the Heritage Crossing ASP.

Proposal Part 2: Request for Redesignation:

Note: Council should only consider approving Proposal Part 2 if they have chosen to approve Proposal Part 1 (the ASP Amendments) and granted first reading to the corresponding bylaw.

Council is asked to consider granting 1st reading to Bylaw XX/2025 to allow the redesignation of Ptn. of NW 32-21-29 W4M; Plan 1530LK, Block 1 within the ASP area from Residential Community District (RC) to Residential Multi-Family District (RMF) to accommodate a proposed attached dwelling typology within the northern portion of the plan area.

PROPOSAL PART 1 (REQUEST FOR APPROVAL OF AMENDMENTS TO THE ASP) OPTIONS FOR COUNCIL'S CONSIDERATION

OPTION #1: APPROVAL of proposed amendments to Heritage Crossing ASP – (First Reading to Bylaw XX/2025)

Should Council believe that the proposed ASP amendments have merit, are consistent with the existing regional and municipal policy frameworks and no significant planning considerations have been brought forward through the public hearing that cannot be resolved through the planning/approval process, Council may choose to approve the proposed amendments to the Heritage Crossing ASP (Bylaw 34/2023).

RECOMMENDED CONDITIONS FOR OPTION #1:

- 1) Applicant to provide necessary amendments to figures throughout the ASP, as per recommendations by Foothills County staff and Council direction to the satisfaction of the Foothills County;
 - Updates to Figures reflecting new RMF housing layout and Public Utility Lot/Lift Station location

OPTION #2: POSTPONE DECISION on proposed amendments to Heritage Crossing ASP

Should Council decide that they require additional information or deem more discussion of the application at a municipal level is required prior to rendering a decision; Council may choose to postpone their decision the approval of the proposed amendments to the Heritage Crossing ASP and provide further direction to administration and/or the applicant.

OPTION #3: REFUSAL of proposed amendments to Heritage Crossing ASP

Should Council believe that the proposed ASP amendments do not have sufficient merit, are not consistent with the existing regional and municipal policy framework or that planning considerations have been brought forward through the public hearing process that Council feels cannot be addressed adequately through the planning / approval process, Council may choose to refuse the application.

PROPOSAL PART 2 (REDESIGNATION OF SUBJECT LANDS)

OPTIONS FOR COUNCIL’S CONSIDERATION:

OPTION #1 – APPROVAL (First Reading to Bylaw)

Council may choose to grant 1st reading to the application for Land Use Redesignation of the subject property, being Ptn. NW 32-21-29 W4M; Plan 1530LK, Block 1, to allow for the redesignation from Residential Community District to Residential Multi-Family District to allow for future subdivision

***Note:** County Staff recommend that all properties within the Heritage Crossing ASP area be designated with a Sub-District ‘A’ to ensure that all recommendations, requirements, and restrictions as outlined within required Stormwater Management, Master Drainage Plan and Lot Grading, High Water Table Report for Foundation Designs, Geotechnical Report, and Building Envelopes are adhered to and complied with to the satisfaction of Foothills County’s Public Works Department. A completion certificate provided by any applicable Professional Engineer(s) verifying that all aspects of the noted analysis have been met and a \$5,000 refundable compliance deposit as a pre-release condition to ensure compliance with all conditions of the development permit will be required.*

Recommended Conditions for Option #1:

- 1) 3rd reading to be granted to Bylaw XX/2025 adopting the Amended Heritage Crossing Area Structure Plan;
- 2) Final Redesignation application fees to be submitted;

OPTION #2: POSTPONE DECISION of the redesignation of the Subject Lands

Should Council believe that they require additional information or deem more discussion of the application at a municipal is required prior to rendering a decision; Council may choose to postpone their decision on proposed redesignation of the Subject Lands and provide further direction to administration and/or the applicant.

OPTION #3 REFUSE APPLICATION

Should Council believe that the proposed ASP amendments do not have sufficient merit, are not consistent with the existing regional and municipal policy framework or that planning considerations have been brought forward through the public hearing process that Council feels cannot be addressed adequately through the planning / approval process, Council may choose to refuse the application.

APPENDICES

APPENDIX A: MAP SET

- LOCATION MAP
- CURRENT ASP LAND USE CONCEPT MAP
- PROPOSED REVISED ASP LAND USE CONCEPT
- PROPOSED REVISED ASP PHASING CONCEPT

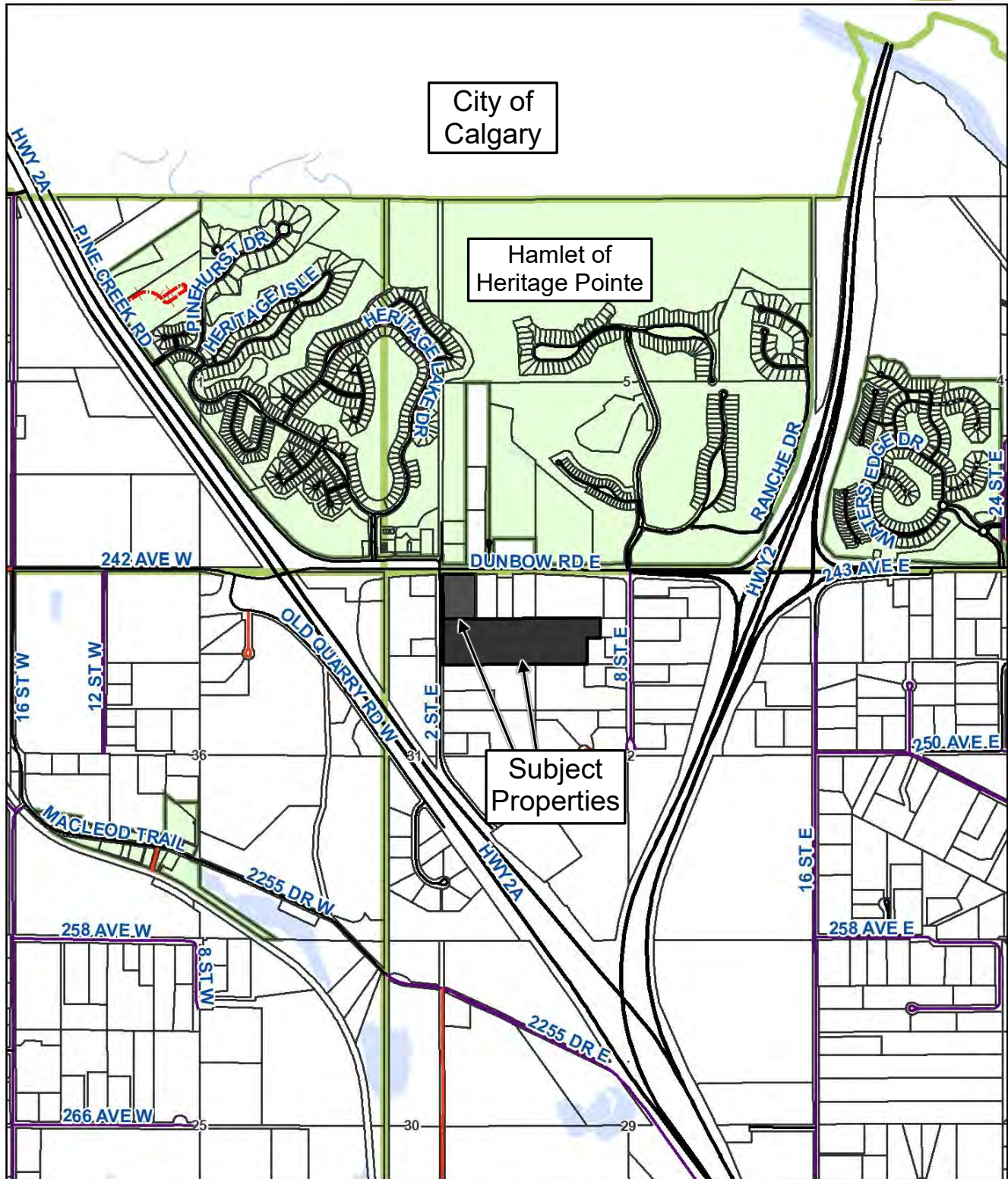
APPENDIX B: PROPOSED BYLAWS:

- DRAFT BYLAW XX/2025 – BYLAW TO AMEND AN AREA STRUCTURE PLAN
- DRAFT BYLAW XX/2025 – BYLAW TO AUTHORIZE AN AMENDMENT TO THE LAND USE BYLAW 60/2014; AS AMENDED (Redesignate subject lands)

APPENDIX C: REDLINE HERITAGE CROSSING ASP DOCUMENT WITH PROPOSED AMENDMENTS

APPENDIX A: MAP SET

LOCATION MAP



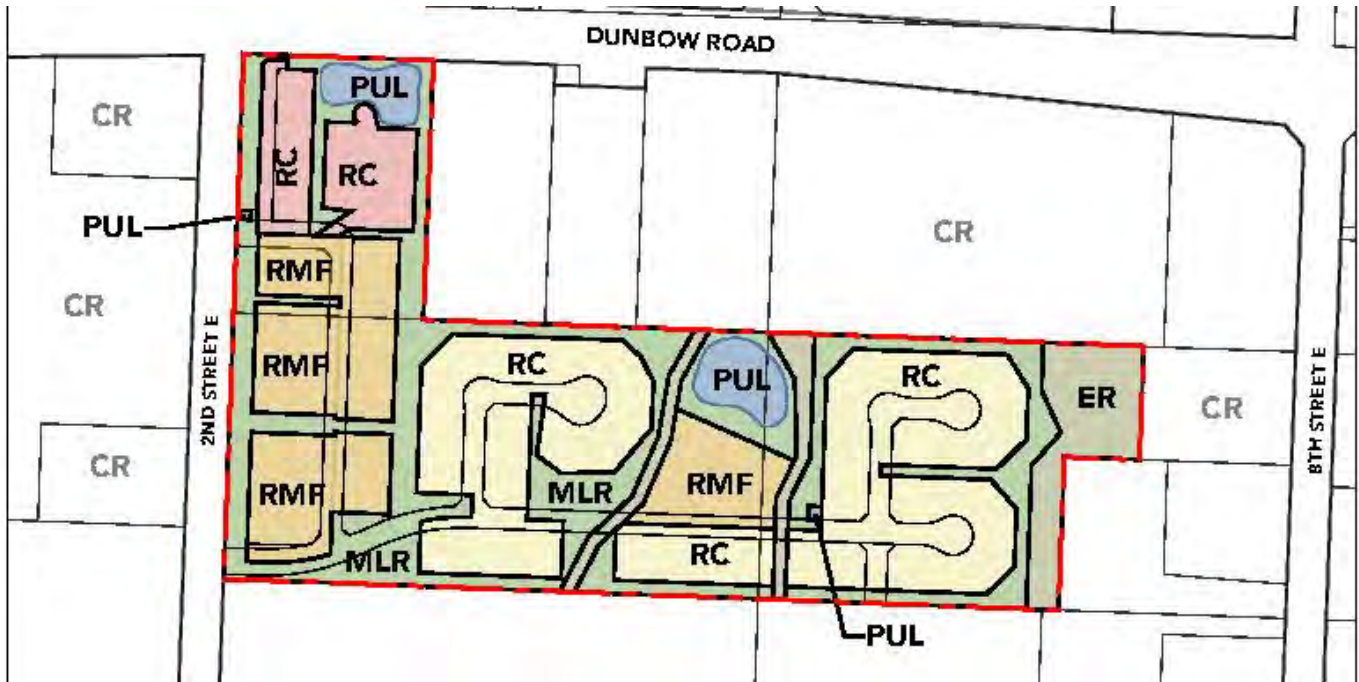
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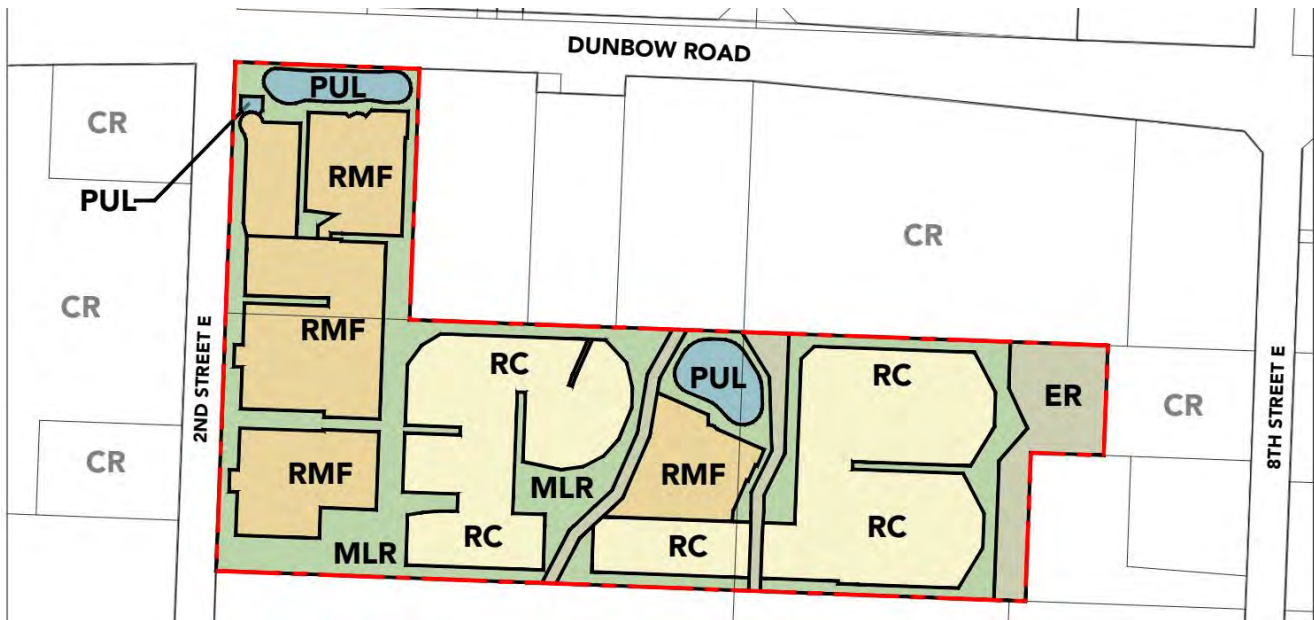
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Data Sources Include Municipal Records and Aerials.
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CURRENT ASP LAND USE CONCEPT



PROPOSED REVISED ASP LAND USE CONCEPT

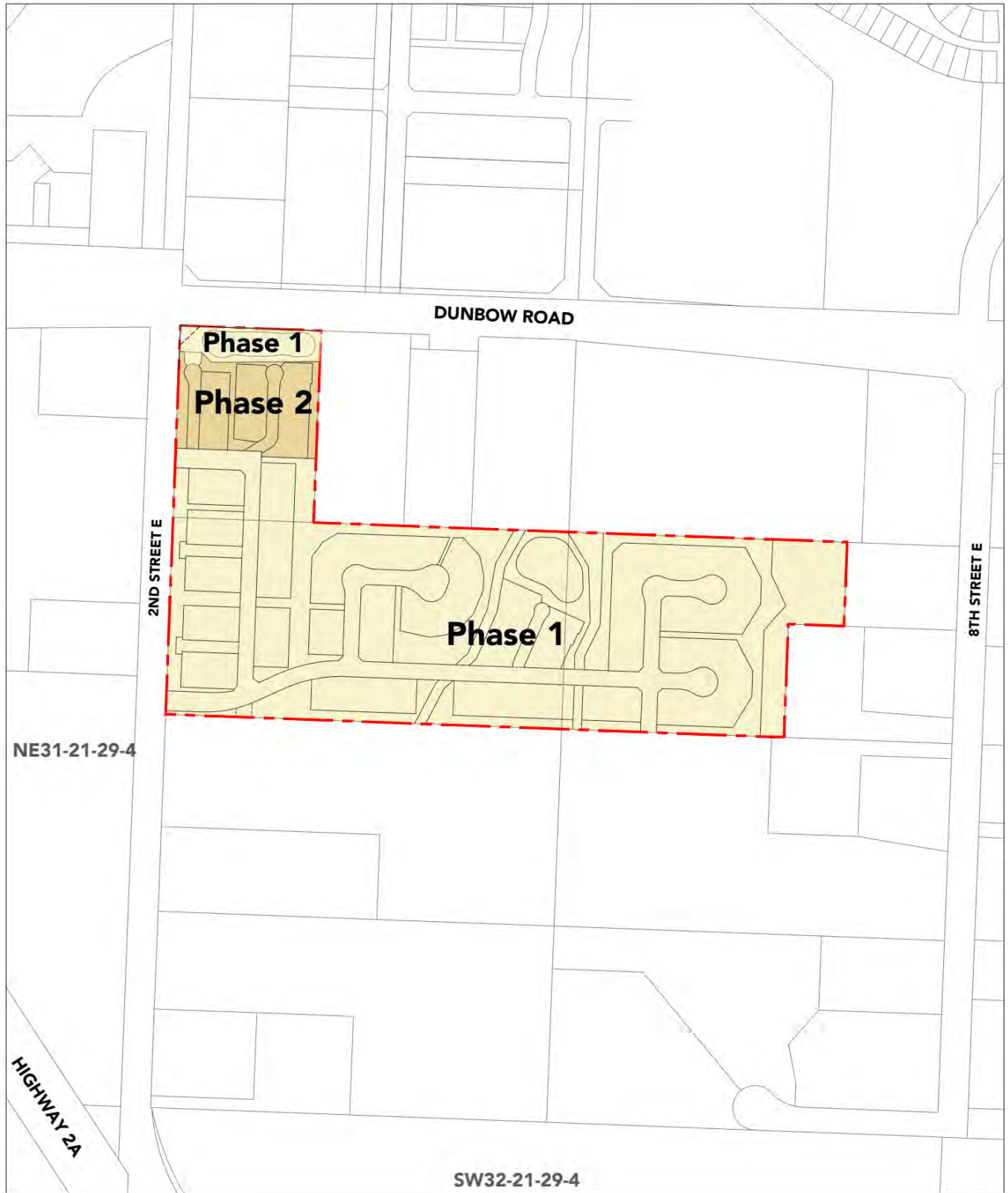


Legend

- | | | |
|---|----------------------------|-------------------------|
| CR Country Residential District | MLR Municipal Land Reserve | A Agricultural District |
| RC Residential Community District - Single Detached | ER Environmental Reserve | BP Business Park |
| RMF Residential Multi-Family District | PUL Public Utility Lot | DC Direct Control |



PROPOSED PHASING CONCEPT



Legend

-  Phase 1
-  Phase 2



APPENDIX B: PROPOSED BYLAW

DRAFT BYLAW XX/2025 - BYLAW TO AMEND AN AREA STRUCTURE PLAN

BYLAW XX/2025

BEING A BYLAW OF FOOTHILLS COUNTY TO AMEND AN AREA STRUCTURE PLAN

WHEREAS the Council of Foothills County (hereinafter called the "Council") is empowered by Section 633(1) of the Municipal Government Act, being Chapter M-26.1, to adopt an Area Structure Plan which provides a framework for subsequent subdivision and development of an area of land within the Municipality's boundaries;

AND WHEREAS the Heritage Crossing Area Structure Plan for the properties legally described as Plan 2211669, Block 7, Lot 5 & Plan 1530LK, Block 1; Ptn. NW 32-21-29 W4M was adopted on August 28, 2024 under Bylaw 34/2023;

AND WHEREAS the Council has received an application proposing amendments to text, maps and policy within the Heritage Crossing Area Structure Plan with respect to the land use concept, typology, and phasing strategy.

AND WHEREAS Council has held a public hearing as required by section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26, as amended:

NOW THEREFORE the Council of Foothills County in the Province of Alberta; hereby amends Bylaw 34/2023, being a Bylaw to adopt the Heritage Crossing Area Structure Plan as follows:

1. That the Schedule "A" attached to Bylaw 34/2023 be replaced with a new Schedule "A" as attached to this bylaw.
2. This Bylaw shall have effect on the date of its third reading.

FIRST READING:

Reeve

CAO

SECOND READING:

Reeve

CAO

THIRD READING:

Reeve

CAO

PASSED IN OPEN COUNCIL assembled at the Town of High River in the Province of Alberta this day of 2025.

APPENDIX B: PROPOSED BYLAW

DRAFT BYLAW XX/2025 - BYLAW TO AUTHORIZE AN AMENDMENT TO THE LAND USE BYLAW 60/2014 (Redesignate subject lands)

BYLAW XX/2025

BEING A BYLAW OF FOOTHILLS COUNTY TO AUTHORIZE AN AMENDMENT TO THE LAND USE BYLAW NO. 60/2014; AS AMENDED.

WHEREAS pursuant to the provisions of the Municipal Government Act, Chapter M-26 Revised Statutes of Alberta 2000, and amendments thereto, the Council of Foothills County (hereinafter called the "Council") in the Province of Alberta, has adopted Land Use Bylaw No. 60/2014 and amendments thereto:

AND WHEREAS the Council has received an application to further amend the Land Use Bylaw by authorizing the redesignation of a portion of Plan 1530LK, Block 1; Ptn. NW 32-21-29 W4M from Residential Community Sub District 'A' to Residential Multi-Family Sub District 'A'.

AND WHEREAS Council has held a public hearing as required by section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26, as amended:

NOW THEREFORE THE COUNCIL ENACTS AS FOLLOWS:

1. Land Use Map 2129 is amended by the redesignation of a portion of Plan 1530LK, Block 1; Ptn. NW 32-21-29 from Residential Community Sub District 'A' to Residential Multi-Family Sub District 'A'.
2. This Bylaw shall have effect on the date of its third reading.

FIRST READING:

Reeve

CAO

SECOND READING:

Reeve

CAO

THIRD READING:

Reeve

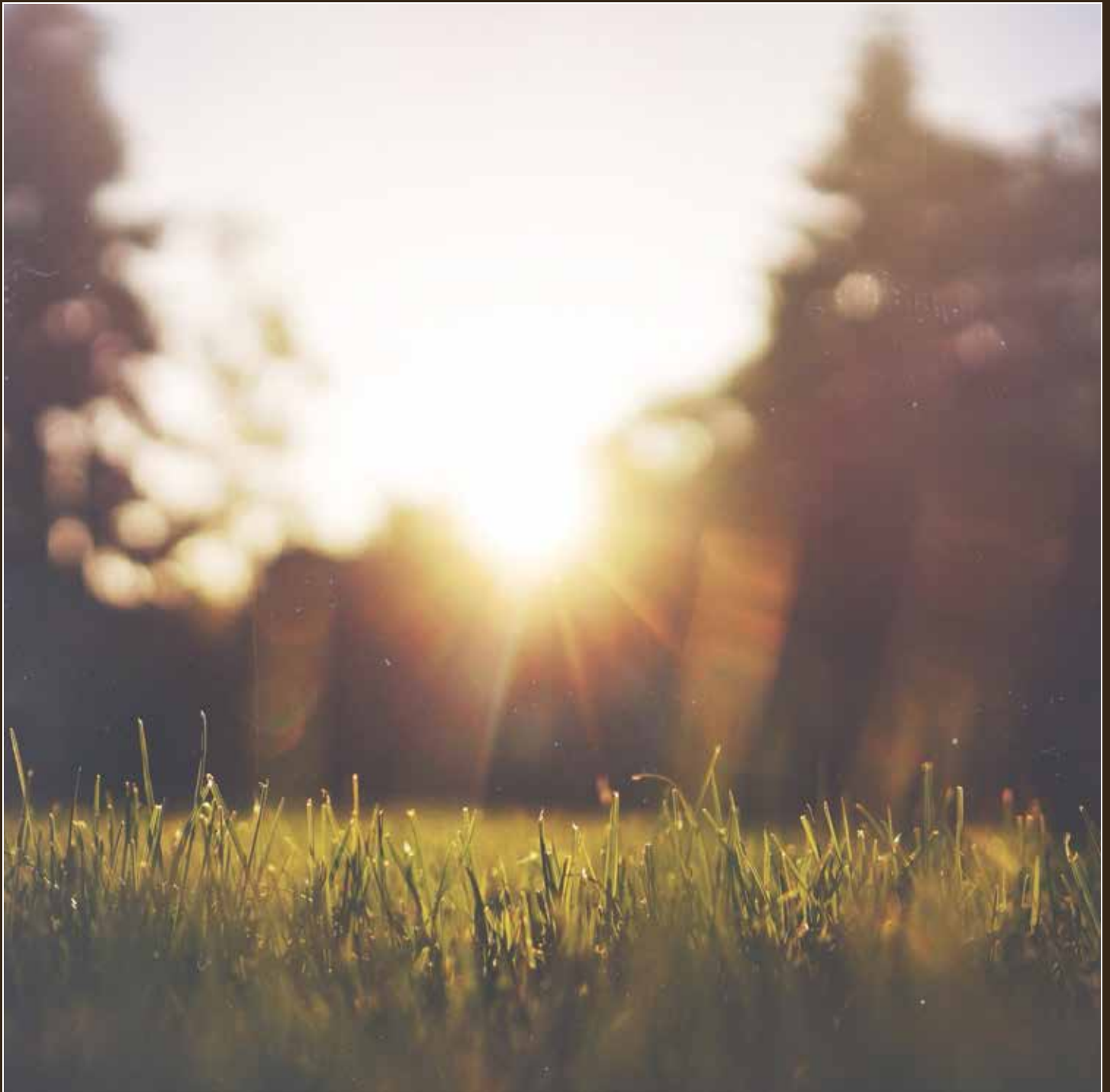
CAO

PASSED IN OPEN COUNCIL assembled at the Town of High River in the Province of Alberta this day of = 2025.

HERITAGE CROSSING



Area Structure Plan



Heritage Crossing Area Structure Plan

Prepared By

Township Planning + Design Inc.

Prepared For

2291463 AB Ltd.

November 2024

Project Team

Township Planning + Design Inc.

Project Contact Information

Kristi Beunder, RPP + MCIP B.A, M.E.Des.

Principal



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1.0 Introduction



Land Acknowledgment

We acknowledge all those who call this land home, past, present, and future. May we respect one another, find understanding together, and recognize the benefits that this land provides to all living things who share it.



1.1 Plan Purpose

The Heritage Crossing Area Structure Plan (the Plan) is a statutory document that establishes the vision for the Plan Area. The Plan guides development of ± 39.11 acres (15.83 ha) on two separate titles all contained within the northwest quarter section 32-21-29-W4M, located in Foothills County immediately east of Second Street East and south of Dunbow Road (**Figure 1: Site Location**).

An area structure plan must outline the goals, objectives, land use, density, phasing, infrastructure and servicing requirements, environmental considerations, and housing types proposed for the site. The Heritage Crossing ASP provides the policy and the implementation to realize the resulting community as a welcoming, sustainable neighbourhood that celebrates the character of Foothills County in this location.

1.2 Vision

Heritage Crossing is thoughtfully designed as a fully serviced residential neighbourhood with a variety of housing forms that integrate into the Hamlet of Heritage Pointe. The site design celebrates open space amenity and protects the environment, demonstrates efficiency in design and servicing, and provides a unique balance of rural and urban living for Foothills County residents to call home.

Offering single-family and multi-family forms of housing, Heritage Crossing provides a variety of options to suit different lifestyles from the typical single-family home to semi-attached ~~villas~~. Heritage Crossing is situated within an extensive open space network that connects areas within the community and offers passive and active recreational opportunities. Strategic landscaping and a buffer area maintain the privacy of adjacent residences. Environmental Reserve preserves significant environmental features to both retain natural processes and protect the site in perpetuity for future generations.

Updated Text: and attached dwellings.



1.3 Objectives

The Plan objectives reflect the aspirations of applicable Foothills County policies, the existing and future area residents, regional stakeholders, and the developer. These objectives provide the framework to guide development over time and achieve the vision for Heritage Crossing as an integrated and economically viable community. The overarching objectives of the Plan are:

- To establish a policy framework to guide development of Heritage Crossing in a manner that aligns with existing local and regional policy and benefits the Hamlet of Heritage Pointe and Foothills County residents;
- To define all lands within the Plan Area and how they integrate with and enhance existing uses in the community.
- To present a comprehensive review of the existing site conditions, constraints, and opportunities within the Plan Area;
- To develop sustainability principles to guide the community design to foster long term preservation of environmentally and historically sensitive areas.
- To outline a sustainable community servicing plan that properly sets the stage for connections to stormwater, wastewater, and potable water servicing opportunities;
- To provide a framework that outlines the configuration of land uses, transportation networks, open space, and utilities to guide the development of a vibrant, sustainable, welcoming community in Foothills County.

1.4 Background

The Heritage Crossing Area Structure Plan has evolved from ongoing planning efforts involving the developer, area residents, the Foothills County administration, and Foothills County Council. The result is a planning framework for the sensitive development of a unique parcel of land at the intersection of Dunbow Road and Second Street East, south of the Heritage Pointe hamlet boundary. **Figure 1:** Site Location identifies the plan area in relation to the surrounding rural/urban transition.

Heritage Crossing is a vibrant mix of integrated residential and open space land uses designed to thrive as a new neighbourhood immediately South of the existing Hamlet of Heritage Pointe. The “Hamlet” designation and boundary was established following a public hearing of Council on 4 May 2000. The Hamlet boundary is, as yet, only recognized at the municipal level. Over time the hamlet boundary has varied to include the Pinehurst community and additional publicly and privately owned lands.

Heritage Crossing draws on the aesthetic character and architectural style of the Hamlet to provide Foothills County residents with a stunning residential neighbourhood. The Plan takes its cues from the adjacent residential developments and addresses the needs of new residents, while supporting existing commercial businesses, and offering an integrated and efficiently serviced community.

1.5 Interpretation & Definitions

The meaning of some of the key words used throughout the Plan are described below:

Shall: a directive term, indicating that the actions outlined are mandatory; therefore, Administration, the developer, the Development Authority, and Subdivision Authority must comply without discretion.

Should: a directive term, indicating a strongly preferred course of action, but one that is not mandatory.

May: a discretionary term, meaning the policy in question can be enforced by Foothills County if it chooses to do so, depending on the circumstances of the application.

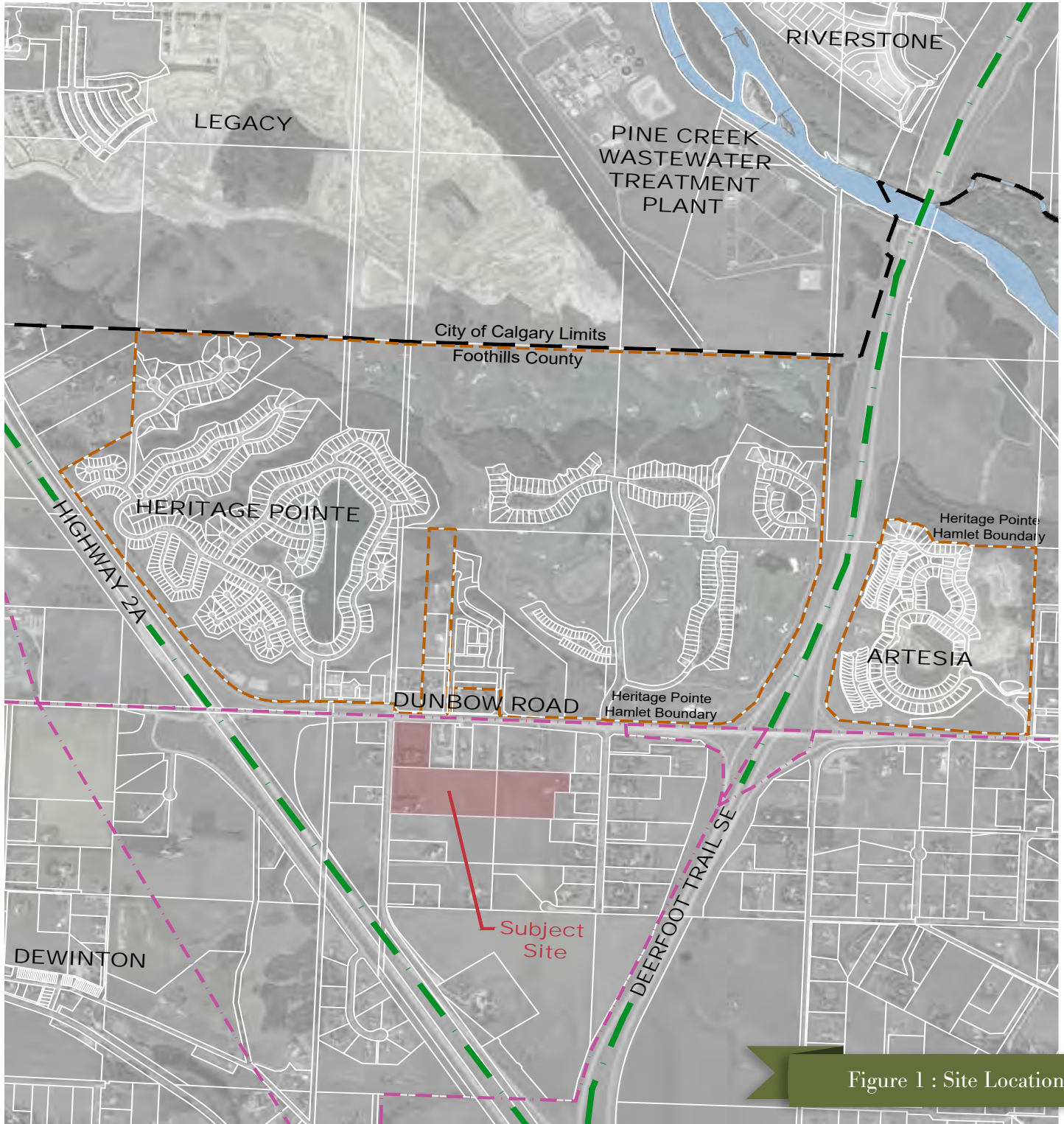


Figure 1 : Site Location

- City of Calgary & Foothills County Limits
- Transportation Corridor
- Heritage Pointe Hamlet Boundary
- Energy Corridor



2.0 Regulatory Framework





2.1 Authority of the Plan

The Plan was prepared in accordance with the provincial requirements outlined in section 633 of the Municipal Government Act (MGA) (Statutes of Alberta, RSA 2000 Chapter M-26.1), specifically:

633(1) For the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may by bylaw adopt an area structure plan.

(2) An area structure plan

(a) must describe

(i) the sequence of development proposed for the area,

(ii) the land uses proposed for the area, either generally or with respect to specific parts of the area,

(iii) the density of population proposed for the area either generally or with respect to specific parts of the area, and

(iv) the general location of major transportation routes and public utilities, and

(b) may contain any other matters, including matters relating to reserves, as the council considers necessary.

The current MGA also states that an ASP must conform to the MGA, any existing Intermunicipal Development Plans (IDP), the Municipal Development Plan (MDP), and all other statutory plans.

2.2 Governing Policies

Due to its location within Foothills County and its proximity to the City of Calgary, Heritage Crossing is subject to several statutory plans which are summarized below. These plans include the South Saskatchewan Regional Plan (SSRP), the Calgary Metropolitan Region (CMR) Growth Plan (GP), the Foothills County/City of Calgary Intermunicipal Development Plan (IDP), the Foothills County Municipal Development Plan 2010, the Foothills County Growth Management Strategy, and the Foothills County Land Use Bylaw.

2.2.1 South Saskatchewan Regional Plan

The South Saskatchewan Regional Plan (SSRP) is the highest-level policy in the South Saskatchewan region; as such, all plans in the region must align with its directives. The SSRP provides the long term vision for the region, and guides all municipalities under its influence. The SSRP promotes efficient use of land and servicing; this encourages municipalities to infill and develop properties that can be serviced communally and do not prematurely fragment agricultural land.

2.2.2 Calgary Metropolitan Region Growth Plan

Adopted by the Minister of Municipal Affairs in August 2022, the Calgary Metropolitan Region Growth Plan establishes the vision and policy framework to guide sustainable, efficient development in the Calgary Metropolitan Region through a collaborative, intermunicipal process.

The Heritage Crossing ASP aligns with the Growth Plan's Regional Vision to create a thoughtfully designed, sustainable, fully-serviced, diverse community that serves the needs of the local residents with an eye for the needs of the future. The Heritage Crossing ASP aligns with the regional policies 3.1.1, particularly 3.1.1.3 related to identifying impacts of development on agricultural land and providing mitigation measures.

Heritage Crossing is designed to meet the Residential Community Placetype criteria in accordance with the policies of the Growth Management Plan 3.1.4.4. Heritage Crossing is intended to be an expansion of and included in the Hamlet of Heritage Pointe.

In accordance with the Regional Evaluation Framework (REF) policy 4.1 c), the Plan was submitted to the Calgary Metropolitan Region Board (CMRB) for evaluation as it is a new Area Structure Plan proposing more than 80 units outside a Preferred Growth Area.

2.0 Regulatory Framework



2.2.3 City of Calgary, Foothills County Intermunicipal Development Plan

The Heritage Crossing plan area is within the Foothills County / City of Calgary IDP as it is located 1.6 kilometres south of the City of Calgary Limits. The ASP is required to be referred to the City of Calgary as the site is within the identified circulation referral area.

The IDP identifies this area as a place that can accommodate residential growth in Foothills County. Section 2.3 includes policies to protect regional assets such as the Pine Creek Watershed and other environmentally significant features, which also require circulation to the City of Calgary for comment. Furthermore, policies in section 3.7 Transportation Infrastructure will apply to the development, specifically 3.7.1.3 related to development along provincially administered transportation networks, which states:

"The two municipalities should consult jointly with Alberta Transportation to coordinate planning and development along provincially administered transportation links in areas of mutual interest. This consultation may include, among other things; advocating for mutually beneficial improvements, promoting opportunities for cost sharing, consideration of transportation design principles for wildlife migration, compliance with dark skies regulations in each municipality, and/or a consideration of scenic landscapes" (p 26).

2.2.4 Foothills County MDP

Under the Municipal Government Act (MGA) every municipal council must adopt a Municipal Development Plan (MDP). An MDP is a high-level planning document that establishes the overall vision for future growth and development in a municipality. Foothills County's Municipal Development Plan 2010 (MDP 2010) provides the following vision:

"The MD of Foothills (sic) encompasses a diverse rural landscape in which leadership and planning support a strong agricultural heritage, vibrant communities, a balanced economy and the stewardship of natural capital for future generations" (p 4).



2.2.5 Foothills County Growth Management Strategy

The Foothills County Growth Management Strategy (GMS) builds on the direction provided in the MDP 2010 by identifying opportunities for growth and development and allocating it to logical areas “where it can be supported by a formal planning framework” (Foothills GMS, 2013, pg. 1). The strategy divides Foothills County into five (5) districts and identifies the Central District as the area that will accommodate most of Foothills County’s growth. This district is located directly south of Calgary and contains the Hamlets of Heritage Pointe, DeWinton and Aldersyde, both the Highway 2 and Highway 2A corridors, and surrounds the towns of Okotoks and High River. It also contains a number of recreational features, including five (5) golf courses and Spruce Meadows, a globally recognized equestrian facility.

Heritage Crossing is located in the Central District. Due to its proximity to major highways, existing urban development, and available piped water and wastewater servicing, this area is recognized as the growth engine for Foothills County. The Central District is where most development is intended to occur within Foothills County.

Foothills County intends to undertake further planning (including a plan for the Central District) to provide guidance on the principles, locations, and desired future growth and development.

Revised Text:
dwellings

2.2.6 Foothills County Land Use Bylaw

The Foothills County Land Use Bylaw (LUB) divides municipal lands into a variety of land use districts (or zones). These districts determine the rules and requirements for developing the land. The LUB outlines the processes for redesignation, subdivision and development permit applications within Foothills County.

The Heritage Crossing ASP proposes to utilize the following land use districts:

Residential Community District (RC) to accommodate ~~seniors’ bungalows, and the traditional single-family homes;~~

Residential Multi-Family (RMF) to accommodate ~~the semi-detached villa housing typology;~~

Municipal Land Reserve (MLR) to provide public lands, an open space network, and parks or schools throughout the community; and,

Public Utility District (PUL) to provide for two stormwater retention ponds and lift stations.

The Plan also proposes Environmental Reserve to protect in perpetuity the environmentally significant features throughout the Plan Area.

Revised Text:
dwellings, and
attached dwellings.

2.0 Regulatory Framework



2.3 Approvals Process

Foothills County requires the preparation of an Area Structure Plan (ASP) to provide a framework for subsequent subdivision and development within the Plan Area.

Foothills County will consider adoption of this Area Structure Plan (the Plan) pursuant to the requirements of the Municipal Government Act. Following circulation of the Plan to the affected landowners in the area and a formal review conducted by County planning staff, the Plan will be presented to Foothills County Council. Council will consider the Plan at the First Reading and Public Hearing, at which time landowners have the opportunity to speak in support or opposition of the proposed Plan. Should the Plan be granted First Reading by Council, the Plan must be submitted to the Calgary Metropolitan Region Board (CMRB) for review in accordance with the Growth Plan. Following CMRB approval, the Plan must be considered again by Foothills County Council for third and final reading before it can be adopted through bylaw.

Subsequently, consideration of land use amendment, subdivision, and development permit applications will follow in accordance with the policies of the Plan and other Foothills County requirements.

2.4 Plan Implementation, Review and Amendment

This section describes the implementation process to ensure development within Heritage Crossing achieves the aspirations of this Plan in accordance with guiding policy.

The Plan is a statutory document that must be passed by Foothills Council following a statutory hearing and enacted through passing of a bylaw in accordance with the Municipal Government Act. The Plan does not supersede or replace any higher order statutory policy and is implemented in accordance with the Municipal Government Act, CMR Growth Plan, Intermunicipal Development Plan, Municipal Development Plan, Land Use Bylaw, and Growth Management Strategy.

The Plan provides a framework of policies that must be considered prior to approval of subsequent land use amendment and/ or subdivision applications for residential and development with the plan area.

2.4.i

Periodic plan review and amendment may occur as required due to the evolving nature of the natural environment, changing market conditions, and local economies. Any amendment to the Heritage Crossing Area Structure Plan that may be required shall be conducted in accordance with the Municipal Government Act.



📍 3.0 Existing Site & Context





3.1 Regional Context & Plan Location

Heritage Crossing is a ±39.11 acre (±15.83 ha) residential development located south of the Heritage Pointe Hamlet in Foothills County. The new community is strategically located 1.6 km south of the City of Calgary limits and is bound by Dunbow Road to the north, Second Street E to the west and Eighth Street E to the east (refer to **Figure 2**: Regional Context). This location offers an alternative to high-density urban living while maintaining convenient access to the provincial highway system to connect residents to the nearby amenities. Heritage Crossing is close to local retail, services, and dining amenities within Heritage Pointe. Fire services and emergency response is provided by the Heritage Pointe Fire Hall which is in direct proximity to the site north of Dunbow Road. Heritage Crossing sits approximately 2.5 kilometres south of the Bow River and offers residents access to the Provincial Park system.

The lands surrounding the Heritage Crossing Plan Area possess a distinctly mixed rural and urban character. The regional landscape varies and includes urban communities such as Legacy, semi-urban communities such as Heritage Pointe and Artesia, and Country Residential acreage developments. Other existing land uses in the vicinity include home-based businesses, as well as three (3) world class golf courses (Heritage Pointe, Cottonwood, and Carnmoney golf courses) a commercial centre, and places of worship.

Figure 2: Regional Context, identifies the Plan Area in its regional context.

3.2 Legal Description

Heritage Crossing is located on lands described below:

Table 1: Legal Description

Owner	Legal Plan Description	Title Number	± Acres/Ha
2291463 Alberta Ltd.	NW 32-21-29-W4M, Plan 1530 LK, Block 1	201 206 605	6.89 / 2.78
2291463 Alberta Ltd.	NW 32-21-29-W4M, Plan 2211669, Lot 5, Block 7	221 235 030 +1	32.22 / 13.04
TOTAL			39.11 / 15.83

3.0 Existing Site & Context

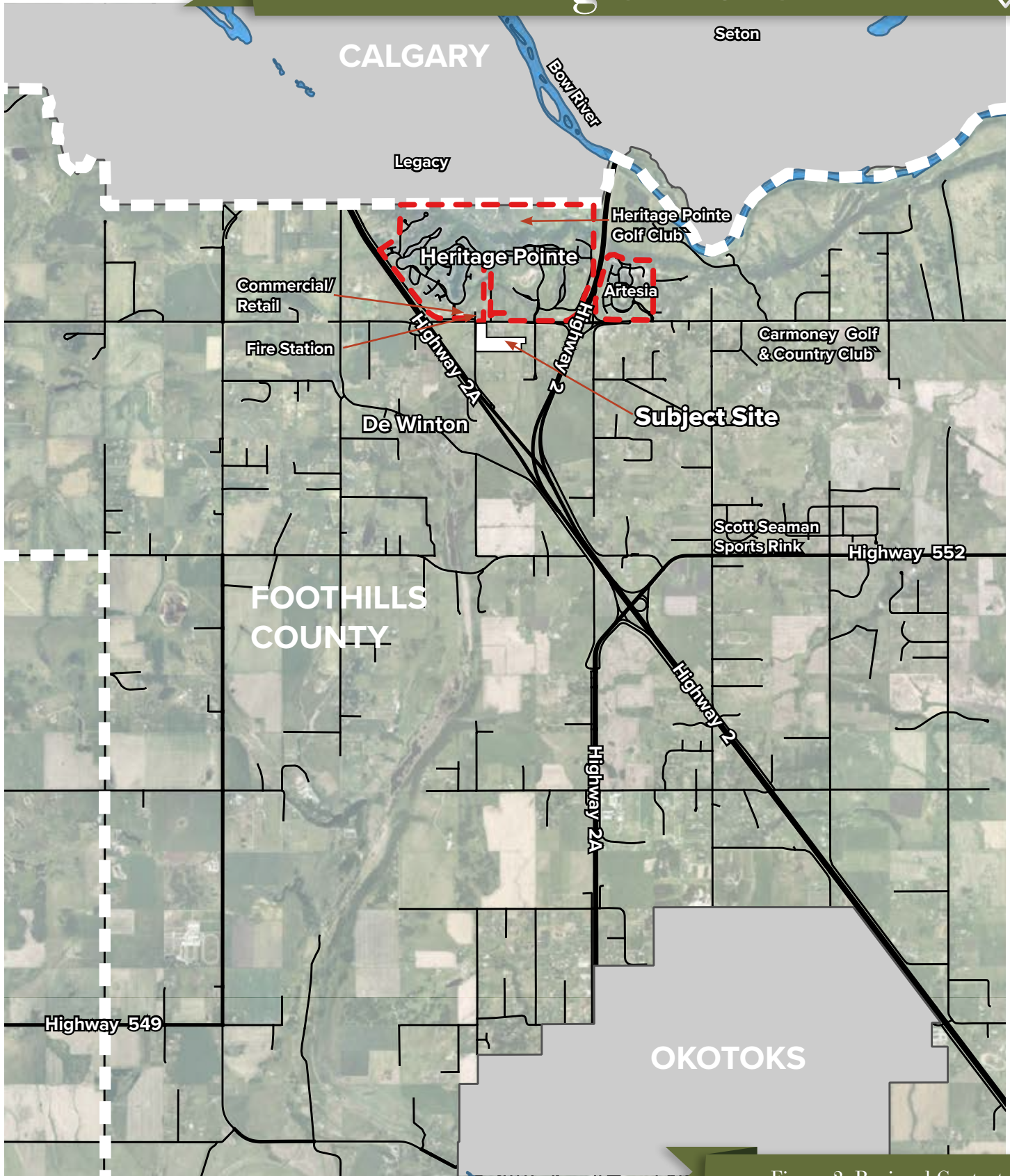


Figure 2: Regional Context

- Subject Site
- Hamlet of Heritage Pointe
- Central District (Growth Management Strategy)



3.3 Existing Topography

The Heritage Crossing Plan Area is located on the uphill side of a large ravine that leads under Dunbow Road eventually to Pine Creek. The concept design takes advantage of a relatively flat area with minimal topographic variations. The eastern most boundary of the site is bordered by a ravine that is protected as Environmental Reserve which provides a buffer between Heritage Crossing and the existing single-family residences.

The site drops from 1061 metres above sea level (masl) at the southwest corner to 1052.5 masl on the north with an average 2% slope. **Figure 3** identifies the site topography.

3.4 Hydrology & Drainage

There are two drainage courses that bisect the study area; the major drainage course runs from south to north along the east boundary of the proposed development and a minor course runs from south to north along the middle of the proposed development. Both natural drainage courses are protected as environmental reserve.

A Stormwater Management Plan was prepared by LGN Consulting Engineering Ltd. The study addresses overall surface water runoff in the study area to assess pre-development runoff discharge and the operation of the proposed ponds under post-development conditions. The Conceptual Design Report conducted by Associated Engineering includes a review of the structural, geotechnical, and hydrogeological engineering considerations, and the assessment of subsurface drainage conditions, underground piped drainage system, and the drainage of individual development lots.

The Stormwater Management Plan by LNG and the Conceptual Design Report conducted by Associated Engineering are detailed in Section 6 of this ASP and have been submitted to Foothills County under separate cover. **Figure 3** identifies the site topography and drainage.

3.0 Existing Site & Context



- Subject Site
- Natural Drainage Draw
- 0.5m Contours
- 1.0m Contours



Figure 3: Topography & Drainage



3.5 Soils & Surficial Geology

Topsoil was encountered at the surface in all the boreholes. The topsoil deposits vary across the site, especially within low-lying areas near the toe of slopes.

The soil assessment revealed near-surface soil conditions of glaciolacustrine deposits consisting of a conglomerate of types of materials ranging from silts and clays to well-sorted silty sand and gravelly deposits.

The thicknesses of topsoil ranged from 50 – 200mm and varied significantly across the site. The material encountered below the topsoil consists of the following from 1.8 metres below grade to a maximum of 12.2 metres below grade: silty sand, sand, glacial till, sandy/silty gravel, siltstone/sandstone bedrock. The sandy gravel soils provided effective refusal at depths of 5.2 and 5.5 metres below existing grade. The bedrock encountered between 6.1 and 9.1 metres below existing grade and was augerable.

Some perched water pockets, typically in more permeable soil layers, were encountered within the silty clay, particularly in the southern half of the development. Water was also encountered near the bedrock interface. These water pockets may be encountered within excavations for deep utilities or basements, however it is expected that the seepage from these layers can be controlled.

3.5.i

The encountered topsoil thicknesses from the boreholes shall not be used for topsoil stripping volume calculations without being supplemented from hand-dug test pits.

3.6 Historical Resources

Consideration of historic resources is a crucial component of sensitively and sustainably planning a new community. Given that many historic resources are not visible on the surface, the project team will be required to submit an application for approval through the Online Permitting and Clearance (OPaC) system. Depending on the results of the OPaC assessment, the project team may be required to conduct a Historic Resources Impact Assessment (HRIA).

3.6.i

The Plan Area may be subject to Historic Resources Act clearance and a Historic Resource Impact Assessment shall be conducted by the developer at the direction of Alberta Culture.

3.0 Existing Site & Context



3.7 Existing Transportation Infrastructure

The Plan Area is currently accessed by private driveways from Second Street East and Dunbow Road. The Plan Area is located approximately 0.65 kilometres east of the intersection of Highway 2A and Dunbow Road and .75 kilometers west of Deerfoot Trail. This location provides Heritage Crossing with convenient access onto these major provincial highways connecting the residents to the adjacent communities and the region.

3.7.i

The design of future access points to the community shall be reviewed and approved by Alberta Transportation and Foothills County to ensure the design meets the development requirements for new Area Structure Plans and access to provincial highways.

3.7.ii

Foothills County completed a Functional Planning Study of Dunbow Road, and the Heritage Crossing ASP shall be required to accommodate the resulting improvements from the study.

3.8 Easements & Rights of Way

There are shallow utility gas line Rights of Way registered on title. These utility Rights of Way have been reviewed and are not affected by the development of this site.



4.0 Concept Design





4.1 Concept Design Overview

The following section outlines the community planning framework including the land use concept for the Plan Area which highlights the intended form, use, and character of the various forms of residential design within the Plan Area.

The policy framework reinforces the vision for Heritage Crossing as a vibrant community that celebrates and protects the environment, champions efficiency in design and servicing, and balances the benefits of rural and urban living. The rural character of the community responds to the existing adjacent communities of Heritage Pointe and Artesia to create a cohesive pattern and context across all three communities.

The open space system consists of a series of pathways, public green spaces, and environmental reserves that create a connected and cohesive network throughout the community. Integrating Heritage Crossing with the surrounding context while adhering to the design standards for rural communities results in a strong sense of place and community character.

4.2 Community Structure

Heritage Crossing will be a holistically planned community with a series of unifying urban design elements that respond to the natural environment and foster a sense of character. The community is intentionally organized around the environmentally significant features and connected by a network of pathways. The site supports three (3) kinds of dwelling units: ~~a seniors' bungalow, a semi-detached villa product, and the traditional single-family home. The seniors' bungalows and villas are set back from Dunbow Road and buffered by a stormwater pond. Semi-detached villa units are planned south of the bungalows along Second Street E.~~

The primary access to these residences is a new internal road between the ~~multi-family units and the single-family homes.~~ The land adjacent to Second Street East is dedicated as Municipal Land Reserve District (MLR) and contains a walk pathway. This MLR provides a

buffer between the street and the residences, attempts to retain existing trees, and makes efficient use of the natural green space to connect the community. The remainder of the community is primarily single-family residences connected by an internal transportation network.

The pathway system is thoughtfully designed and sensitively integrated into the residential areas to maintain the rural character of the area and create a cohesive community. Intentionally placed focal points provide destinations within the community and enhance the local landscape.

4.3 Land Use Concept

The land use concept design, as pictured in **Figure 4**, reflects how the land use policies inform the design of the Plan Area to create a cohesive community. The concept is derived from the vision and objectives identified in this Plan (sections 1.2 and 1.3) and should be reviewed when land use redesignation and/or subdivision applications within the Plan Area are submitted.

The following sections contain detailed policies and descriptions of each policy area as illustrated in **Figure 4: Land Use Concept**. **Table 2** details the Plan Area statistics and **Table 3** the proposed population density.

Updated Text: attached dwellings, semi-detached dwellings, and single family dwellings. The dwelling units are set back from Dunbow Road and buffered by a stormwater pond.

dwellings.

4.0 Concept Design

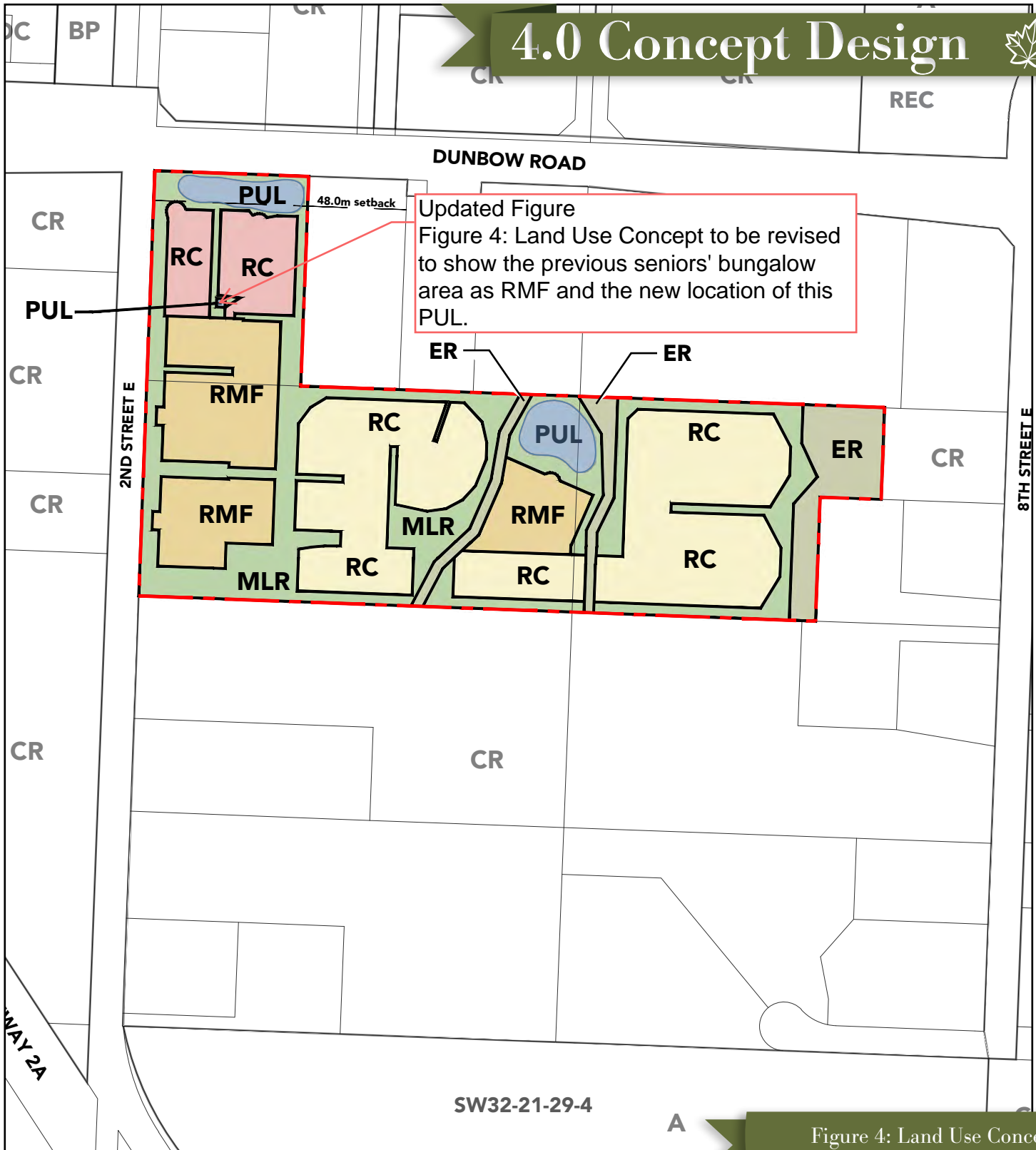


Figure 4: Land Use Concept

Legend

- | | | |
|---------------------------------------|----------------------------|----------------------------|
| CR Country Residential District | MLR Municipal Land Reserve | A Agricultural District |
| RC Residential Community District | ER Environmental Reserve | REC Recreation District |
| RMF Residential Multi-Family District | PUL Public Utility Lot | DC Direct Control District |



Table 2: Plan Area Statistics

Land Use	Estimated Units By Type	Area (ac)	Area (ha)	% of Net Developable Area
Gross Developable		39.11	15.83	
Environmental Reserve (ER)		3.29 3.30	1.33 1.33	
Net Developable		35.82 35.81	14.50	
Residential Community (RC)	81 +/- 75	10.54 10.65	4.26 4.31	29.42 29.74
Residential Multi-Family (RMF) Villas	62 +/- 70	5.15 7.46	2.08 3.02	14.37 20.82
Residential Community (RC) Bungalows	20	1.82	0.73	5.08
Municipal Land Reserve (MLR)	N/A	9.92 10.29	4.01 4.16	27.69 28.73
Public Utility Lot (PUL)	4	1.46	0.59	4.07
Road/Road Dedication	N/A	6.93 5.95	2.81 2.40	19.37 16.61

Maximum

Table 3: Proposed Population Densities

Maximum Residential Units	Persons per dwelling	Estimated population	Units per net acre	Units per net hectare
163	2.7 *	440.1	4.55	11.17

* 2016 census

4.0 Concept Design



4.3.1 General Residential Policies

Heritage Crossing is an intentionally designed neighbourhood with a variety of housing options incorporated to meet the needs identified by residents of the area and Foothills County. The result is a mix of residential villas, seniors' bungalows, and single-family residential homes.

Updated Text: attached dwellings, semi-detached dwellings, and single-family dwellings.

b.

~~b. Rear yard setbacks: 1.5 meter encroachment into regular rear yard setbacks requirements for above grade decks; for those properties within Heritage Pointe Area Structure Plan area;~~

c. A garage up to 50% of the dwelling size (provided that the garage does not exceed a maximum of 2,400 sq. ft.) split into two different structures, either attached or detached from the residence is permitted on parcels that are located on lands within the Heritage Pointe Area Structure Plan.

4.3.1.i

Housing typologies shall be suitably integrated and compatible with surrounding land uses and the existing community.

4.3.1.ii

The residential density shall be greater than the Plan Area.

Add Policy and renumber subsequent policies:

4.3.1.iii

The maximum dwelling density for the Plan Area shall be the maximum residential units per acres listed in Table 3. Any additional density will require an amendment to the Area Structure Plan.

4.3.1.iii

In accordance with Council direction, a 48m setback from the centre line of Dunbow Road shall be adhered to. No residences shall be included within the Dunbow Road setback area.

4.3.1.iv

For all residential lots, the setbacks shall align with the minimum setbacks in the Land Use Bylaw Residential Community District and the exceptions granted for the Heritage Pointe Development.

i) The Heritage Pointe Exemptions that apply to Heritage Crossing shall include:

a. Front Yard setbacks: relaxation of up to 90% on front yard setbacks for corner lots for those properties under the Heritage Pointe Area Structure Plan;

4.3.1.v

As a condition of subdivision approval the developer shall provide the following to the satisfaction of Foothills County:

i) Architectural Controls to ensure the Controls align with Foothills County's Land Use Bylaw and Municipal Development Plan. The developer shall establish an internal review process for any development permit and/or building permit submission to ensure they meet the expectations of the Architectural Controls and Foothills County Land Use Bylaw prior to their release and acceptance by Foothills County;

ii) a conceptual landscape plan which outlines the transitional areas and buffers for any parcel in the Plan Area that is located adjacent to parcels north of the Plan Area; and

iii) a Construction Management Plan that addresses development phasing and provides detailed mitigation strategies that will help reduce the impacts of construction and development.

Add new policy:

4.3.1.vii

For all residential lots in the Heritage Crossing Plan Area, a 3.0 metre encroachment into regular rear yard setbacks shall be allowed to accommodate requirements for above grade decks.



4.3.1.1 Residential Community Policies

The areas designated Residential Community District (RC) will consist of single-family dwellings ~~and bungalows targeted at supporting seniors. Both the housing typologies are~~ designed to complement the country residential neighbourhoods adjacent to the Plan Area. ~~These development typologies offer the benefit of fully serviced, single family style homes in a semi-urban neighbourhood surrounded by ample natural amenities.~~

Revised Text: The single-family typology is

Replace Policy: On the lots designated Residential Community District, lots shall range between 460 sqm to 900 sqm.

4.3.1.1.i

On lots designated Residential Community District, the housing form shall be single-family detached and shall align with the Foothills Land Use Bylaw and this ASP.

4.3.1.1.ii

~~On lots intended for the bungalow typology in the Residential Community District, no lot shall be smaller than 350m².~~

4.3.1.1.iii

On lots designated Residential Community District, the maximum allowable dwelling density shall be one single-family home per lot.

4.3.1.1.iv

~~The maximum dwelling density for the Plan Area shall be the maximum residential units per acres listed in Table 3. Any additional density will require an amendment to the Area Structure Plan.~~

4.0 Concept Design



Revised Text: with up to four dwelling units

Revised Text: dwellings, and attached dwellings

Revised Text: dwellings

4.3.1.2 Residential Multi-family Policies

The semi-attached ~~villas~~ provide a moderate density option within the country residential context. The ~~villas~~ will be comprised of one building with ~~two dwelling units~~ and provide options for a variety of home owners and lifestyles. Identifiable neighborhood character to be achieved through the use of sensitive to surrounding development

Replace Policy: Buildings within the RMF district shall be comprised of no more than four dwelling units per building.

4.3.1.2.v

Clear development patterns composed of clusters of buildings with complementary architectural character should be created that are sensitive to the surrounding single-family developments;

4.3.1.2.vi

Clear pedestrian circulation patterns which collector road should

Revised Text: within the RMF district,

4.3.1.2.i

~~For the villa typology, individual buildings shall be comprised of no more than two (2) dwelling units;~~

4.3.1.2.ii

~~On lots intended for the villa typology, no lot shall be smaller than 292.5m² and no greater than 435m², with the exception of corner lots which shall not exceed 626m².~~

250m²

4.3.1.2.iii

~~The maximum allowable dwelling density for the villa housing typology (designated RMF District) shall be 12 units per net acre;~~

695m² (the largest lots are corner lots)

Revised Text: within the

4.3.1.2.iv

Multi-family residential development should be encouraged to be located off the internal roadways and in close proximity to open spaces in the Plan Area;



4.4 Open Space System

4.4.1 Open Space Master Plan

The Open Space Master Plan completed by Navagrah Landscape Architecture + Urban Design (**Figure 5: Open Space Master Plan**) transforms the land use concept into a tangible vision of the community. The Open Space Master Plan describes the materials, pathway network, interface details, vegetation, and parks to provide a sense of place and reflect the experience of the Heritage Crossing community. The Open Space Master Plan sets the tone for the materials and amenities of the community and contributes to the sense of place within the context of Heritage Pointe.

The Open Space Master Plan proposes a green, walkable community connected by a network of paved pathways and sidewalks. These pathways connect people to each other and to destinations in the community such as parks and rain gardens. The open space design suggests how the open space amenities will function as destinations as well as critical infrastructure to maintain and protect the environment.

The detailed plans of amenities offer insight into the design of parks and pathways and how these could be used as active and passive activity areas that bring people together (please refer to **Figures 6 and 7: Park Detail and Pathway Detail**). These areas celebrate the environment and create a strong sense of place in this semi-urban community. Furthermore, the detailed elevations of design elements provide a standard for all landscaping infrastructure which reflects the character of the community and creates a strong identity for Heritage Crossing.

4.4.1.i

The Open Space Master Plan should inform the type of uses, vegetation, pathway and sidewalk locations and widths, and design of natural infrastructure.

4.4.1.ii

Detailed landscaping plans, including maintenance provisions, shall be provided to the satisfaction of Foothills County at the subdivision stage.

4.4.1.iii

At the subdivision stage, the developer shall provide a breakdown of the lands designated as part of the open space system including those lands that may be Municipal Land Reserve, Environmental Reserve, or Public Utility Lot, and how those lands will be owned and maintained to the satisfaction of Foothills County.

4.4.1.iv

The developer shall be responsible for construction of all pathways, the type and location of which shall be detailed at the subdivision stage.

4.4.1.v

The Community Association shall be responsible for pathway maintenance upon completion of the maintenance period and issuance of the Final Acceptance Certificate to the satisfaction of Foothills County.

4.4.1.vi

Landscape and Maintenance plans shall be completed by the developer at the subdivision stage to the satisfaction of Foothills County.

4.0 Concept Design



4.4.1.vii

The developer shall be responsible for constructing a unified fence along the northern property line, for adjacent landowners who wish to have it implemented, in order to provide separation between Heritage Crossing and adjacent private lands. The final design for the fencing shall be approved by Foothills County. Funding for the maintenance of the fence shall be incorporated into the Community Association's maintenance fund.

4.4.1.viii

The design of the Open Space system recognizes the need to create an overall sense of individual well-being and to encourage social gathering. To achieve this, the following should be incorporated into the open space design at the subdivision stage where appropriate and feasible to the satisfaction of Foothills County:

a. Integrate the open space into the wider community through safe, pleasant and efficient pathway routes.

b. Ensure seasonal adaptability for year-long usability through appropriate landscaping, site design, provision of street furniture, and recreational facilities.

c. Provide public visibility to the open space through visual corridors.

d. Encourage a diversity of user activities and opportunities through provision of recreational equipment or interpretive trails and signage.

e. Promote “eyes on the street” by using active building edges to frame and define neighbourhood parks, and playgrounds where possible.

f. Support linear parkways and linkages where appropriate to promote connectivity and to facilitate walking and cycling.

g. Ensure open spaces and amenities are located and designed in accordance with principles of universal access and barrier-free design.



- 1.5m Wide Concrete Sidewalk
- 2m Wide Asphalt Pathway
- Sod
- 0.9m Height Farm Fence
- Trees

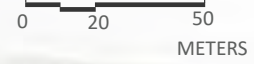
- 1 - Refer
- 2 - Refer
- 3 - Storm
- 4 - 2m V

Figure 5: Open Space Master Plan

4.0 Concept Design



ROAD



Berm with Spruce
Property Line.
Spruce, Colorado Spruce



8TH STREET E

STREET E

to Pg 31
to Pg 32
Water Pond
Wide Asphalt Pathway

5 - Residential Area
6 - Bridge to Cross ER
7 - ER
8 - Grass Berm with Tree Buffer Planting

9 - Rain Garden
10 - Triangle Park
11 - View Point with Seating
12 - Property Line

13 - Entry Feature with Planting





-  Sod
-  Trees
-  Shrubs
-  Perennials
-  Bench
-  Property Line

- 1. Main Entry
- 2. Entry Feature
- 3. Residential Area
- 4. Boulevard Trees
- 5a. 1.5m Wide Concrete Sidewalk
- 5b. 2m Wide Asphalt Pathway
- 6. Planting Bed
- 7. Grass Berm
- 8. Grass Berm with Planting
- 9. Multi-Sport Court
- 10. Community Board
- 11. Corner Plaza
- 12. Seating Node
- 13. Crosswalk



Figure 6: Park Detail

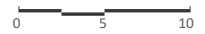
4.0 Concept Design








2



Conceptual Design Only. Subject to Change



-  Sod
 -  Trees
 -  Shrubs
 -  Perennials
 -  Bench
1. Residential Area
 2. Park Entry
 3. Entry Feature
 4. Grass Berm with Planting
 5. Boulevard Trees
 6. Kids Play Area
 7. 2m Wide Asphalt Pathway
 8. Green Open Space/ Winter Skating Area
 9. ER
 10. Planting Bed
 11. Crosswalk
 12. 1.5m Wide Concrete Sidewalk



4.4.2 Municipal Land Reserve

As depicted in **Figure 5: Open Space Master Plan**, the interconnected Municipal Land Reserve (MLR) and Environmental Reserve (ER) systems comprises a series of public spaces, natural areas, and other open spaces that will provide social, biophysical, and aesthetic functions.

Municipal Reserve (MR) lands, that are zoned using the Municipal Land Reserve (MLR) District provide passive and active recreation amenities for community residents to foster a sense of connection and enhance well-being. In Heritage Crossing, MLR offers linear and connected green spaces that act as buffers between different land uses and provide passive recreational opportunities through the network of trails and public green spaces. A multi-sport court is included as a more active recreational amenity.

All lands identified as MLR are intended to meet the requirements of the Municipal Government Act for Municipal Reserve.

Figure 5: Open Space Master Plan completed by Navagrah Landscape Architecture + Urban Design proposes a network of pathways connecting the active and passive recreational amenities. The result is a cohesive system of open space elements that support the well-being of residents and enhance the experience of Heritage Crossing.

4.4.2.i

Reserves shall be dedicated during the subdivision stage, in the full amount owing, in accordance with the requirements of the Approving Authority, pursuant to the Foothills County Municipal Development Plan (MDP) and Municipal Government Act (MGA).

4.4.2.ii

The allocation of reserve shall be determined at the of subdivision stage to the satisfaction of Foothills County. As a result of phasing development, certain phases in the Plan Area may be deficient of reserves while others may be over dedicated. The developer shall ensure that the required amount of reserve is dedicated throughout the course of the development to the satisfaction of Foothills County.

4.0 Concept Design



4.4.3 Environmental Reserve

Dedicating lands as Environmental Reserve (ER) preserves significant natural features or systems that play an important role in the biophysical functions of the region. ER lands are intended to be left in their natural state as much as possible, but public trails could be incorporated where conditions are suitable as determined by Foothills County. In Heritage Crossing, the ER is left primarily undeveloped. The design follows the natural contours of the land and preserves the environmentally sensitive areas through ER and are surrounded by MLR. A preliminary geotechnical study has been completed to inform the setbacks required from the ravine.

4.4.3.i

Reserves shall be dedicated through the subdivision process in the full amount owing in accordance with the requirements of the Approving Authority, pursuant to the MDP and MGA.

4.4.3.ii

Where there are significant slopes identified on the site, these lands shall be protected from development through the dedication of Environmental Reserve at the discretion of Foothills County.

4.4.3.iii

Any existing structures in the Environmental Reserve areas shall be removed at the developer's expense prior to registering the areas as Environmental Reserve.

4.4.3.iv

Where appropriate, methods to delineate private from public lands may be utilized. This could include chain link fence, post and rail fence, or other naturalized methods of making this distinction.





4.5 Environmental Assessment

One of the main objectives of Heritage Crossing is to minimize the impacts of development on the environment. To this end, Heritage Crossing will protect and enhance the natural environment and create a balance between development and the protection of environmental features. These features will be integrated into the community design in order to foster long-term preservation and oversight of these areas. An environmental reserve is planned to protect unique features and provide public access for passive recreation opportunities. Heritage Crossing will maintain the rural character of the area through preservation of functional natural areas, enhancement of recreational opportunities and open space, and protection of wildlife habitats and vegetation that are critical to the foothills landscape.

There may be lands throughout the Plan Area that are not protected by the Environmental Reserve designation but may still be significant to the natural systems in the area. In these instances, additional studies may be required, at the discretion of Foothills County.

A Geotechnical Slope Stability Assessment was prepared for the lands adjacent to the ravine to determine the appropriate setbacks and has been submitted under separate cover.

4.5.i

Foothills County may require that developers, in support of a proposal for redesignation, subdivision, or development, and at their sole expense, prepare and submit the following to the satisfaction of Foothills County and in accordance with all provincial requirements:

- a. a geotechnical report pursuant to the provisions of the MDP.
- b. any additional environmental testing or study deemed necessary by Foothills County (i.e. slope stability testing, percolation testing, high water table testing).
- c. any additional soil and groundwater study as deemed necessary by Foothills County and/or Alberta Environment.

4.5.ii

Should Foothills County require further environmental assessment or reporting, the study(s) should identify and analyze any environmentally sensitive or significant areas and recommend ways to protect these features and address topography, geology, hydrology, soils, vegetation, and wildlife.

4.5

4.0 Concept Design



4.5.1 Biophysical Impact Assessment

Foothills County's MDP contains policy that suggests that proponents of development or redesignation of land that Foothills County believes would be wholly or partly within an environmentally significant area, shall demonstrate that the proposal will not jeopardize or significantly damage the characteristics of the resource. Foothills County may ask that specialized studies such as a Biophysical Impact Assessment (BIA) be prepared at the developers expense. In this instance, there are no sites that are considered to be environmentally significant and a BIA was not required by Foothills County Administration.

4.5.1.i

A Biophysical Impact Assessment may be prepared by the developer, at the request of Foothills County, to determine the impacts of development and wherever possible provide for mitigation of those impacts at the subdivision stage.



4.5.2 Geotechnical Testing

A preliminary geotechnical assessment has been completed to provide a general overview of site conditions and establish requirements for additional assessments at future phases. To assess the geotechnical site conditions including stratigraphy, groundwater conditions, and soil properties, eleven (11) boreholes were drilled across the site and samples tested from each. Laboratory testing included natural moisture content, soluble sulphate, and Atterberg limit testing. Groundwater was also evaluated including any slough and presence or absence of free water. The results are summarized below:

- The geotechnical report conducted by Englobe concluded that the site primarily consists of suitable bearing soils provided several recommendations in the report are followed.
- The soils at the site, with the exception of the topsoil and other organic soils, are suitable for use as general engineered fill. The native soils are capable of supporting residential structures, with the exception to topsoil and browns. Some over excavation may be necessary if areas of loose silty sand or sand are encountered.
- The site soils are suitable to support deep and shallow utilities provided the recommendations in the report and those from any additional studies that may be required are followed.
- It is recommended that final site grading be provided to direct water to areas remote from all proposed structure. Minimum landscape gradients of 2 percent are recommended to reduce the risk of run-off ponding in localized areas. Furthermore, downspouts should be positively directed away from the buildings.

4.5.2.i

The recommendations of the Geotechnical Report prepared by Englobe dated February 14, 2022 shall be followed during the construction period. As a condition of subdivision approval, additional geotechnical assessments may be required at the expense of the developer and to the satisfaction of Foothills County.

4.5.2.ii

Groundwater levels fluctuate seasonally and annually, therefore additional groundwater testing may be required at Foothills County's discretion. Any additional testing required shall be undertaken by the developer at their expense and to the satisfaction of Foothills County.

4.5.2.iii

The footing design parameters of multi-family residential structures should be determined by a site and project specific geotechnical evaluation once further development plans are known, at the discretion of Foothills County.

4.0 Concept Design



4.6 Community Association

A Community Association (CA) for Heritage Crossing will be established by the developer to provide resources to members and assist with maintaining public community spaces. The CA will be established and governed by residents of the community who volunteer to be on the CA board. The CA will be based on a mandatory membership model whereby residents pay an annual maintenance fee. This fee is used to fund community events and initiatives, such as community gardens and maintenance of public open space. The CA board has the opportunity to work closely with Foothills County to ensure the needs of the community are met by the CA or a partnership between the CA and Foothills County. The CA will not take over maintenance of public spaces until such time as Foothills County has relieved the developer of their maintenance obligation.

4.6.i

A Community Association shall be established upon issuance of the Final Acceptance Certificate at which point responsibility for Heritage Crossing is transferred from the developer to Foothills County. The developer will continue to maintain the open spaces until the Community Association has reached 50% of the community residents.

4.6.ii

Members of the Community Association shall pay an annual fee, to be determined by the Community Association, to support and maintain Heritage Crossing.

4.6.iii

The Community Association shall be responsible for the operation and maintenance of municipal reserves (MLR district) in collaboration with Foothills County.

4.6.iv

Maintenance of Heritage Crossing shall be conducted in accordance with the Foothills County Community Standards Bylaw.

4.6.v

The Community Association shall be responsible for maintenance of pathways upon issuance of the Final Acceptance Certificate, and release of the development to the CA, to the satisfaction of Foothills County.



4.7 Dark Sky Bylaw Compliance

Foothills County adopted a Dark Sky Bylaw to minimize the factors that contribute to light pollution in the rural environment. The Bylaw regulates the type of light sources and fixtures that can be installed in Foothills County in order to prevent future light pollution.

The bylaw actively seeks to prevent three types of light pollution:

- Glare, where bright lights reduce visibility and safety for both pedestrians and motorists.
- Up-lighting, where illumination is directed skyward for no reason, and
- Light trespass, where the glow cast by a fixture moves from a place requiring illumination to one that does not.

4.7.i

The Heritage Crossing ASP plan area shall adhere to the policies of the Foothills County Dark Sky Bylaw.

4.7.ii

The Heritage Crossing ASP may support streetlights in areas where public safety is critical (e.g. major intersections). Any streetlight fixture shall be Dark Sky compliant and implemented to the satisfaction of Foothills County.

4.0 Concept Design

4.8 Transitional Buffer Areas

Design guidelines have been developed in this ASP to provide a thoughtful approach to interfaces between the Plan Area and adjacent country residential lands. These design guidelines provide a tangible guide to respecting the needs of adjacent country residential lots and the needs of the residents of Heritage Crossing. The buffering strategy provides landowners with a sensitive transition from their lands to other development while promoting a comprehensive open space plan that incorporates pathways and low impact design.

Within Heritage Crossing, a minimum width of ~~10m~~ of buffer area is maintained, and expanded in some areas, around the perimeter of the community through the use of MLR. These MLR areas introduce vegetation, integrate with the existing topography, and introduce man-made features, such as the stormwater ponds, to provide a physical and visual separation, and to reduce dust, trespassing, and noise. These spaces create a pathway network throughout the community as part of the Plan's dedication to sustainability and efficient use of land. The north property line transition is pictured in **Figure 8: Transitional Buffer Section**.

4.8.i

Transitional buffer areas may be incorporated at the discretion of Foothills County. If required, transitional buffer design shall be submitted for review and approval by Foothills County at the subdivision stage.

4.8.ii

Buffers should result in sensitive transition utilizing vegetation, topography, low impact development strategies, and pathways where required.

4.8.iii

Transitional buffer areas shall be designed by a Landscape Architect, and constructed and maintained at the expense of the developer, to the satisfaction of Foothills County.

Revise Text: 7.25 m

Key Plan



Section 2 - 2



Conceptual

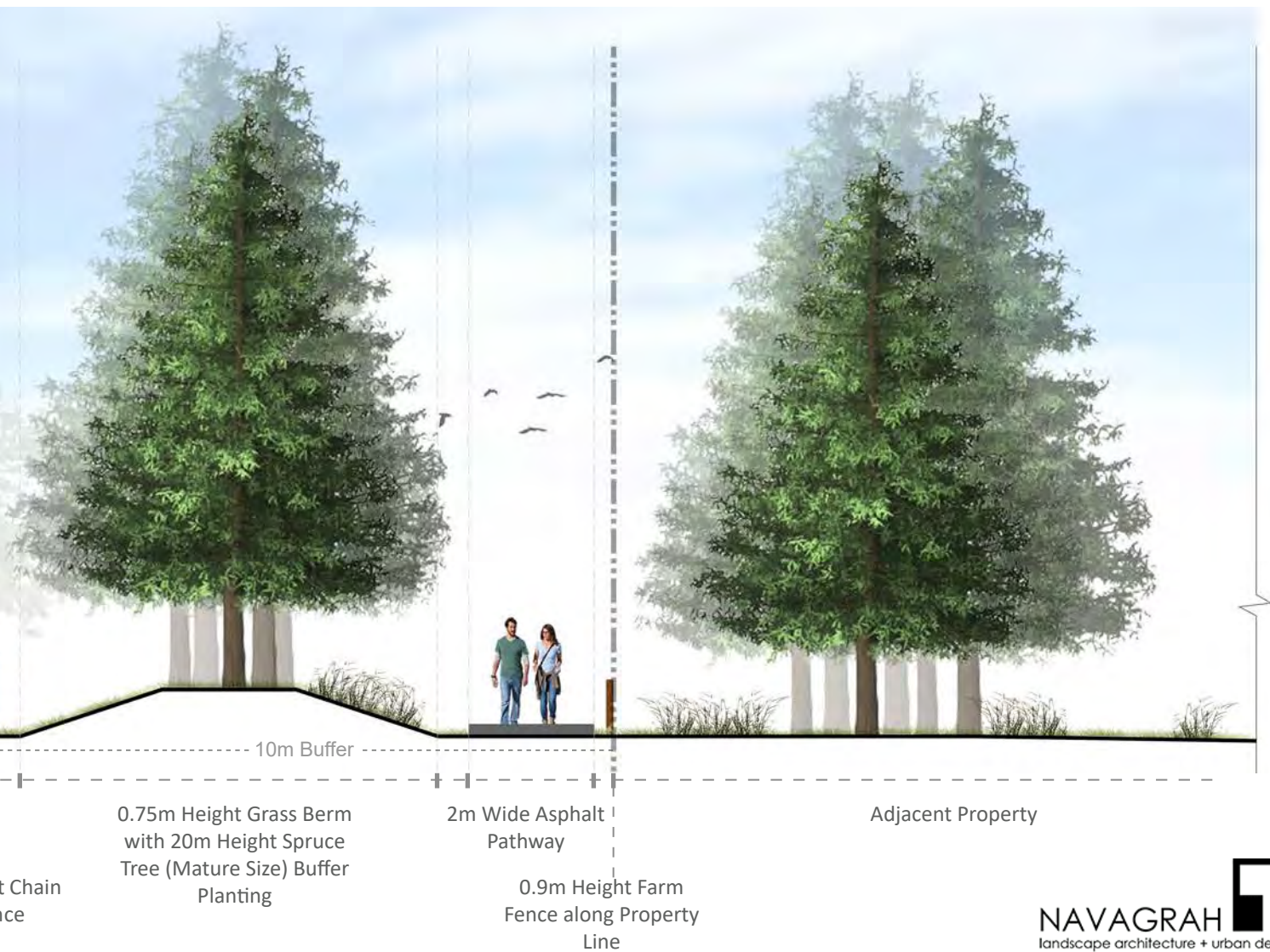
Building

Backyard

1.2m Height
Link Fence

Figure 8: Transitional Buffer Section

4.0 Concept Design





5.0 Architectural Controls





5.1 Purpose

The intention of Heritage Crossing's Architectural Controls are to create a visually cohesive built form environment while allowing enough variety to create interest and represent the character of Heritage Crossing. These Architectural Controls are meant to inspire and guide developers in a manner that provides a variety of housing options while achieving a balance of form, colour, and theme.

5.2 Architectural Theme

The various housing forms in Heritage Crossing should possess their own individual character while contributing to a cohesive community aesthetic and experience. This balance shall be achieved through the Architectural Controls that allow a variety of housing types while drawing on themes established in the prevailing architectural form, style, and detailing of the homes in local developments such as the Lake at Heritage Pointe, Artesia, and Serenity.

Inspiration has been drawn from the local aesthetic and traditional architectural styles to create a cohesive architectural theme for Heritage Crossing. Developers should adhere to more traditional styles of French County, Tudor, Prairie, and Craftsman. These styles will be thoughtfully applied to the residential housing typologies proposed by this Plan. Topography in the Plan Area will further influence locations and orientations of buildings with respect to views, privacy, and park access.

5.1.i

The development of Heritage Crossing shall conform with the Architectural Controls established by the developer to the satisfaction of Foothills County and registered on title by restrictive covenant.

5.2.i

Similar themes, materials, massing and architectural styles shall be repeated in all phases within the Plan Area.

5.2.ii

The Architectural Controls shall contain a review and approval process that outlines the requirements for compliance and approval from the developer. This will ensure all controls have been met by the builder prior to submission of a formal building permit to Foothills County.

5.0 Architectural Controls



5.3 Architectural Style Examples

The photos on this page provide examples of appropriate built form and urban design within the project area.





6.0 Servicing





6.1 Deep Utility Servicing

Based on the proposed land use, there will be an estimated 163 residential units. Given an assumed average occupancy of 2.7 persons per unit the total projected population of the development is 440 people ($163 \times 2.7 = 440$). Lee Maher Engineering, in working with Corix, has determined that the existing potable water and sanitary wastewater system in Heritage Pointe operated by Corix Utilities has the capacity to service the Heritage Crossing development. This new service area is proposed to connect to the existing infrastructure that services Heritage Pointe.

Figure 9 indicates proposed deep utility tie-in connection locations.



6.1.1 Water Servicing

Water demands were estimated based on the proposed land uses and the assumed design population of 440 residents. Design demand of 370 l/s per capita was used for planning purposes. Peaking factors were applied to calculate maximum day and peak hour flow rates, as summarized in **Table 4** Water Demand Scenario.

Based on these assumptions, water service for the Plan Area will require installation of new water mains within the proposed roadways and utility right-of-way within the Plan Area. Two off-site water main connections will be required to connect to the existing Heritage Pointe water system. These off-site water mains will create a looped water system that will be sized to provide sufficient capacity to meet the normal operating needs of the system as well as the fire protection requirements for the development.

Connection 1: One water main connection is required northwest of the Plan Area at the intersection of 2 St East and Dunbow Road. Construction of the new water main would be completed along the existing right-of-way on 2nd Street East, and connect to the existing water main located in the south side of Dunbow Road. The construction would have limited impact on motoring traffic in the area.

Connection 2: The second looped connection would be in the same general area as the first connection, however, the waterline would go west from the intersection of Dunbow Road and 2nd Street East for a short distance and then be directionally drilled going north under Dunbow road and connect to another existing water main on the north side of Dunbow Road. To minimize impact to existing traffic on Dunbow Road and Pine Creek Road, directional drilling of the waterline will be utilized as much as possible.

Table 4: Water Demand Scenario

Water Demand Scenario	Design
Estimated Population	440
Average Day Demand	1.8L/s
Maximum Day Demand Peaking Factor	2.9
Maximum Day Demand	5.2 L/s
Peak Hour Factor	4.0
Peak Hour Demand	7.2 L/s



6.1.1 Water Servicing cont.

The two proposed watermain connections tie-in to two different existing watermains that are located on either side of the existing Heritage Pointe water storage reservoir located adjacent to the Fire Hall. Not only do these proposed tie-ins create internal water looping for the project, they also create two different offsite watermain lines for the project to tie into. If there is a problem with the existing waterline main that runs from the Heritage Pointe water treatment plant to the storage reservoir located next to the fire hall, then the existing watermain on the west side of the storage reservoir would still be able to provide water service to the development, and vice-versa. This creates ongoing serviceability for potable water to the development, even in the event of any potential offsite waterline problems.

The conceptual water distribution system and water tie-in connections are shown on **Figure 10: Water Servicing System**. This figure is subject to change upon confirmation from Corix. Any construction requirements and methods within offsite road right-of-ways will be discussed with the County throughout the detailed design stage.

The predicted design flows for the potable water system are not expected to cause the existing water system to operate outside of its existing capacity. The design of the servicing for the development should proceed based on the criteria defined in the Conceptual Design Report completed by Associated Engineering and in cooperation with the utility service providers. Opportunities for potential future water servicing connections from the Heritage Crossing Plan Area to future communities within close proximity should be considered.

6.0 Servicing



6.1.1.i

All residential lots, regardless of size, shall be connected to piped water and wastewater servicing systems.

6.1.1.ii

The capacity for the potable water system shall be verified by the utility provider at the subdivision stage, to the satisfaction of Foothills County.

6.1.1.iii

Final watermain alignments shall be determined by detailed design engineering at the subdivision stage, to the satisfaction of Foothills County.

6.1.1.iv

The water system infrastructure may be required to be designed to be oversized in order to accommodate future connections, to the satisfaction of Foothills County. The oversized infrastructure shall be at the discretion of the utility operator and may be subject to endeavours to assist.

6.1.1.v

The developer shall be responsible for all costs necessary to expand and/or upgrade the water system to service Heritage Crossing and any required off-site connections, including Water Act and Environmental Protection and Enhancement Act approvals to the satisfaction of the utility provider and provincial regulatory agencies.

6.1.1.vi

Foothills County encourages the reduction and reuse of water in accordance with provincial laws and regulations. Development and buildings within Heritage Crossing shall use low-flow fixtures and appliances to promote water conservation. As outlined in the Architectural Controls, no exterior irrigation utilizing treated potable water should be permitted.

6.1.1.vii

The developer shall execute and comply with a development agreement to the satisfaction of Foothills County for the construction of all required on-site and off-site utility infrastructure.

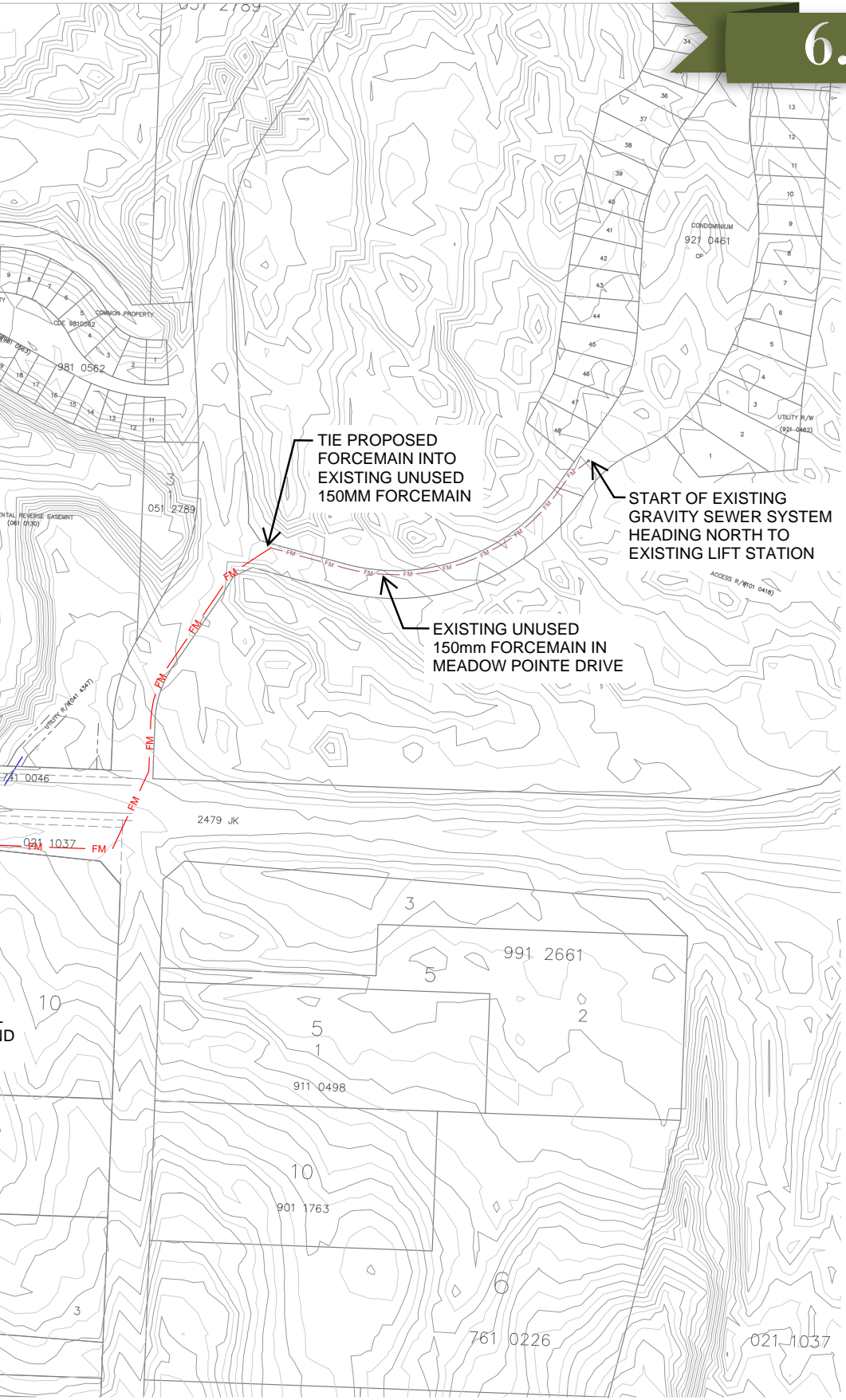
6.1.1.viii

Future connections shall be at the discretion of the utility provider and Foothills County. Endeavors to Assist to support the existing developers responsible for bringing services to the area shall be considered at the subdivision stage.

6.1.1.xi

The location of all water utilities and the provision of rights-of-way, easements, and related line assignments should be addressed to the mutual satisfaction of Foothills County, the developer, and the utility provider.

6.0 Servicing



LEGEND

- EXISTING OFFSITE SANITARY FORCEMAIN
- PROPOSED OFFSITE SANITARY FORCEMAIN
- EXISTING OFFSITE POTABLE WATERMAIN
- PROPOSED OFFSITE POTABLE WATERMAIN
- PROPOSED STORM WATER OUTFALL
- PROPOSED STORM WATER POND
- PROPOSED SANITARY LIFT STATION

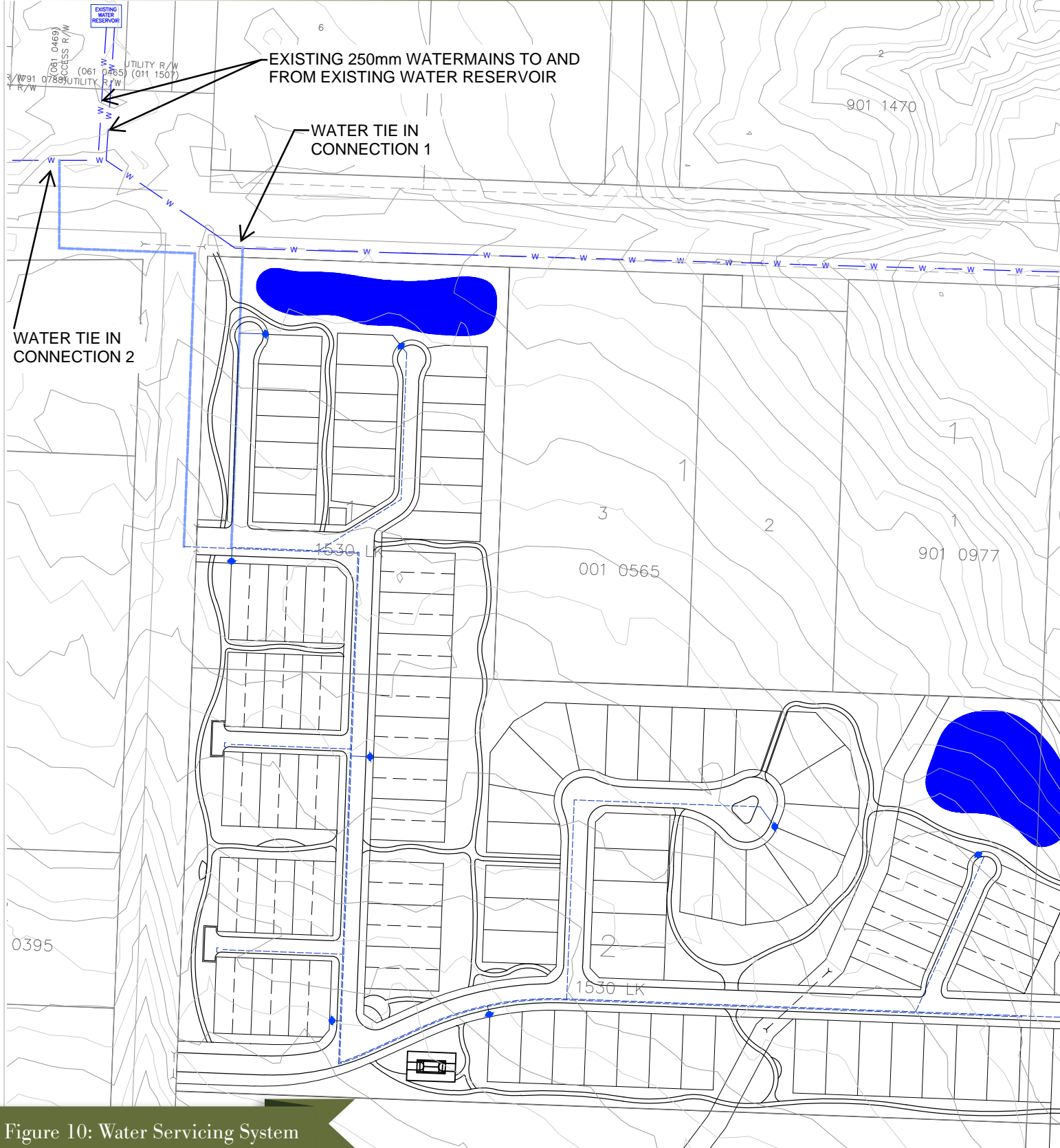






Figure 10: Water Servicing System

6.0 Servicing



LEGEND

-  EXISTING OFFSITE POTABLE WATERMAIN
-  PROPOSED OFFSITE POTABLE WATERMAIN
-  PROPOSED POTABLE WATERLINE
-  PROPOSED FIRE HYDRANT



6.1.2 Sanitary Servicing

Sanitary Servicing will require installation of new sanitary sewers within the proposed roadways and utility right-of-way within the Plan Area. The servicing concept also includes a new onsite lift station located near the northwest entrance to the subdivision that will pump sewage collected in the proposed gravity mains to the existing wastewater system in Heritage Pointe.

The existing receiving gravity system will also need to accommodate these flows. The lift station will pump sewage off site to the Heritage Pointe development through a forcemain that is proposed to run along Dunbow Road, and ultimately crossing Dunbow Road at 8th Street East/Heritage Pointe Drive through horizontal directional drilling methods to minimize the impact to the current function of all roadways at this intersection.

The proposed forcemain will connect to the existing system at the intersection of Heritage Pointe Drive and Meadow Pointe Drive. The actual connection point and forcemain route will be identified during the detailed design stage.

Currently, the existing capacity of the existing Heritage Pointe gravity sewer system located in Meadow Pointe Drive is deemed to have capacity to accept the regulated flows from the Heritage Crossing lift station. Should it be determined at the detailed design stage that the existing downstream receiving infrastructure does not have sufficient capacity to handle peak flow demands, then an off-peak pumping option has already been discussed and accepted by Corix as an alternative solution to ensure the downstream system is not overburdened during peak flow times.

If required, Foothills County may seek endeavours to assist for any oversized infrastructure.

For the offsite forcemain and tie-in to the existing gravity system, temporary access and traffic deviation may be required. Communication with private landowners may also be required, as there may be temporary disturbances during the installation.

A potential option to help minimize impacts along Dunbow Road and to the existing homes along the south side of Downbow Road, if required, would be to install the forcemain (or sections of it) by horizontal directional drilling to avoid impacts to traffic along the road.

Easements and/or land acquisitions could be required to protect the utility right-of-way of the proposed pipe. Any construction requirements and methods within offsite road right-of-ways will be discussed with Foothills County throughout the detailed design stage.

The proposed sanitary sewer system and proposed tie-in connections area shown on **Figure 11: Sanitary Servicing System**.

6.0 Servicing



6.1.2.i

Final sanitary sewer mains and force main alignments shall be determined by detailed design engineering at the subdivision stage, to the satisfaction of Foothills County.

6.1.2.ii

Sump pumps and stormwater drainage systems shall not be connected to the wastewater system.

6.1.2.iii

The developer shall be responsible for all costs necessary to expand and/or upgrade the wastewater utility system to service Heritage Crossing, including Water Act and Environmental Protection and Enhancement Act approvals to satisfaction of the utility provider and the provincial regulatory approvals agencies.

6.1.2.iv

The developer shall execute and comply with a development agreement to the satisfaction of Foothills County for the construction of all required on-site and off-site utility infrastructure, including that required for wastewater.

6.1.2.v

The wastewater system infrastructure may be required to be designed to be oversized in order to accommodate future connections, to the satisfaction of Foothills County. The oversized infrastructure shall be at the discretion of the utility operator and may be subject to endeavours to assist.

6.1.2.vi

Future connections are at the discretion of the utility provider and Foothills County. Endeavors to Assist shall be considered at the subdivision stage to reimburse existing area developers for bringing services to the area.

6.2.vii

The location of all wastewater utilities, the provision of rights-of-way, easements, and related line assignments shall be addressed to the mutual satisfaction of Foothills County, the developer, and the utility provider.

6.1.2.viii

Opportunities for future wastewater servicing connections from the Plan Area to new communities within close proximity to Plan Area should be considered at the land use or subdivision stage.

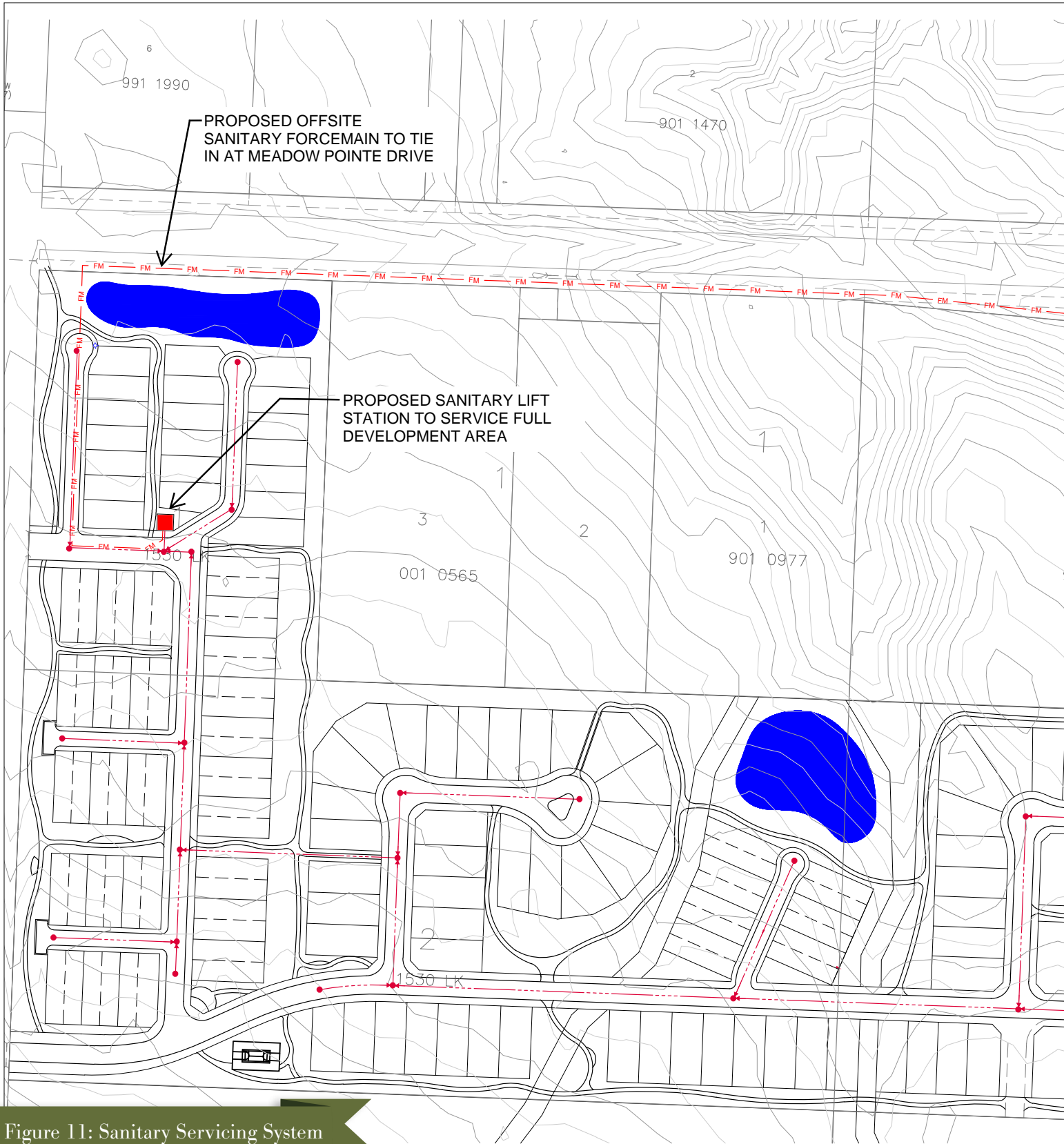
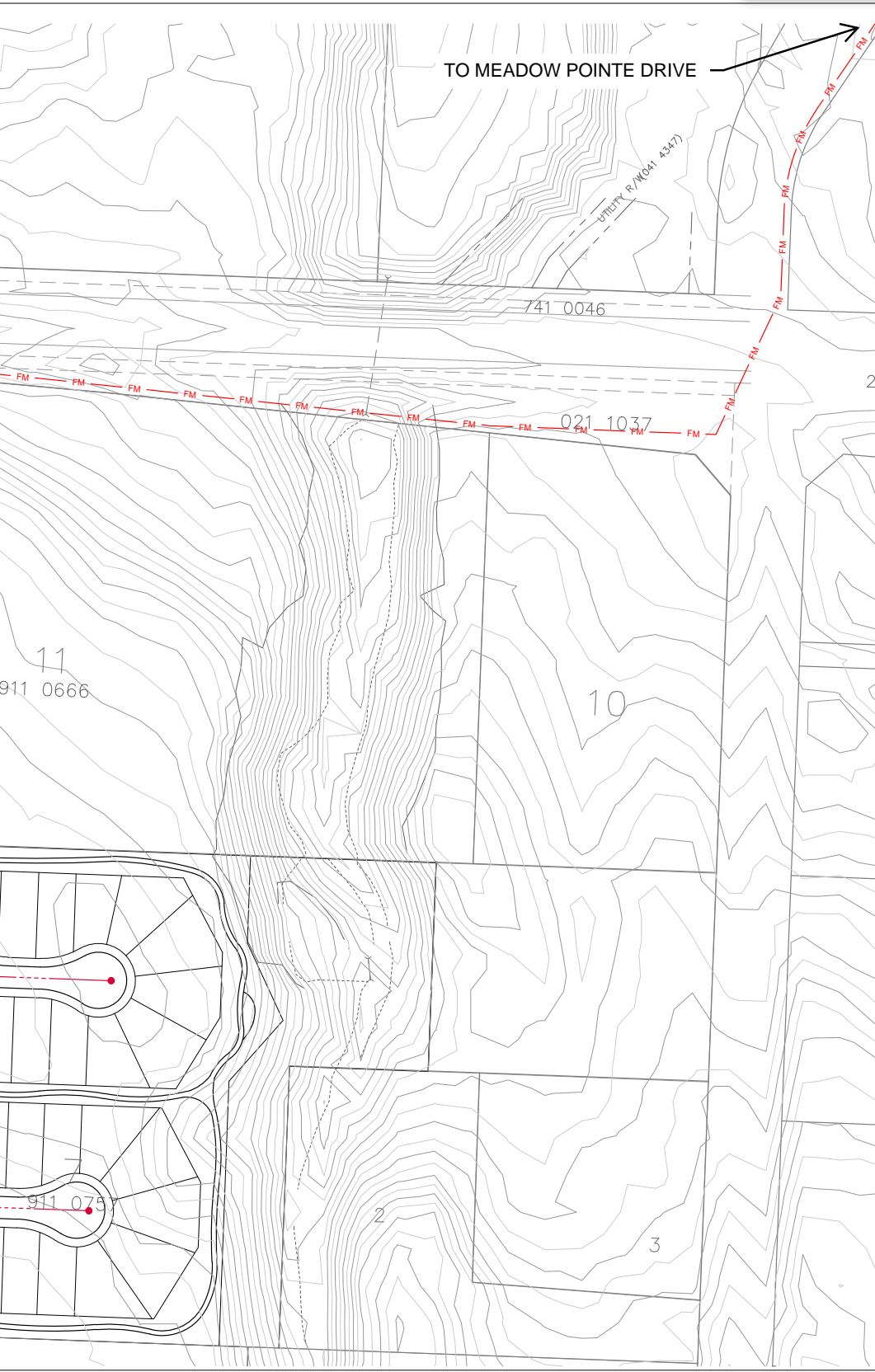






Figure 11: Sanitary Servicing System

6.0 Servicing



LEGEND

-  PROPOSED OFFSITE SANITARY FORCEMAIN
-  PROPOSED SANITARY LIFT STATION
-  PROPOSED SANITARY GRAVITY LINE WITH FLOW DIRECTION
-  PROPOSED SANITARY MANHOLE



6.1.3 Stormwater Servicing

The stormwater management system concepts presented are based on the Stormwater Management Plan by LGN Consulting Engineering Ltd. The Stormwater Management Plan outlines the drainage concepts that will be implemented in the development. The stormwater management system will follow a traditional dual drainage system with a minor pipe system and a designed overland drainage system that incorporates the roads, curbs, and other designed overland flow paths as well as stormwater management facilities. Catchment boundaries were defined in the Stormwater Management Plan, divided into the North Pond and South Pond areas. The pond in the middle of the development will be designed as a wet pond, the pond to the north, closest to Dunbow Road, will be a dry pond.

North Pond Catchment

The proposed dry pond facility will generally be designed to meet the following criteria:

Upstream Drainage Area: 4.88 ha
Active Storage, Volume: 2,612 m³, Depth: 1.5 m
Freeboard Elevation 1055.3 m
Approximate HWL: 1055.0 m
Pond Bottom: 1053.5 m
Design detention release rate of 22.9 l/s

The north pond outlet will be connected to the existing ditch located on the south side of Dunbow Road. Construction of the pond outlet will require a control structure that will limit the off-site discharge to the defined design release rate.

The outlet to the ditch will require erosion protection. Easements and/or land acquisitions would be required to protect the utility right of way of the proposed water main. The final arrangement for the discharge will be subject to municipal, Environmental Protection and Enhancement Act, and Water Act approvals.

The proposed stormwater management system is shown on **Figure 12: Stormwater Management System**.

The stormwater runoff drains from the high point in the South West corner into two catchment areas. This runoff will drain into respective stormwater ponds through major and minor systems before being released into the downstream drainage system.

An oil grit separator will be required upstream of both ponds and 70 l/s/ha for minor system flows.

South Pond Catchment

The proposed wet pond facility will generally be designed to meet the following criteria:

Upstream Drainage Area: 9.2 ha
Permanent Pool: Volume: 1,561 m³
Depth below water line: 2.5 m
Active Storage: Volume: 4,526 m³
Depth Above NWL: 2.0 m
Freeboard Elevation 1,053.8 m
Approximate HWL: 1,053.5 m
Pond NWL: 1,051.5 m
Pond Bottom: 1,053.5 m
Design detention release rate of 43.2 l/s

The south pond outlet is intended to be connected to the existing natural drainage channel at the east edge of the development site. The flow path continues across the private lands north of the site, running through a culvert under Dunbow Road. Construction of the pond outlet will require a control structure that will limit the off-site discharge to the defined design release rate. The outlet will require erosion protection. Easements and/or land acquisitions could be required to protect the utility right-of-way of the proposed storm outlet. Each agreement will need to protect the outlet drainage path from alteration or removal. The final arrangement for the discharge will be subject to Municipal, Environmental Protection and Enhancement Act, and Water Act approvals.

6.0 Servicing



6.1.3.i

Management of stormwater should not exceed pre-development runoff discharge (both volume and peak discharge). The analysis supporting such a stormwater management strategy will be undertaken using a continuous simulation, Water Balance Model approach.

6.1.3.ii

At the subdivision stage, where a stormwater management facility is proposed, the developer shall submit a detailed Stormwater Management Plan that is consistent with the Preliminary Stormwater Management Plan prepared by LGN Consulting Engineering Ltd. The Stormwater Management Plan should address operations and maintenance, include a conceptual design plan, and a landscape plan, and any other information determined to be necessary by Foothills County or other applicable regulatory body to evaluate the proposed facility.

6.1.3.iii

Land identified as a PUL contains either stormwater features or lift stations required for wastewater services. Foothills County shall take responsibility of these PUL parcels upon issuance of a Final Acceptance Certificate to the satisfaction of Foothills County.

6.1.3.iv

The location of all stormwater utilities and the provision of rights-of-way and easements, and related line assignments shall be addressed to the mutual satisfaction of Foothills County, the developer, and the utility provider.

6.1.3.v

A detailed lot grading and drainage plan shall be conducted once lot configuration and road layouts are finalized. The lot grading and drainage plan shall be completed at the developer's expense and to the satisfaction of Foothills County.

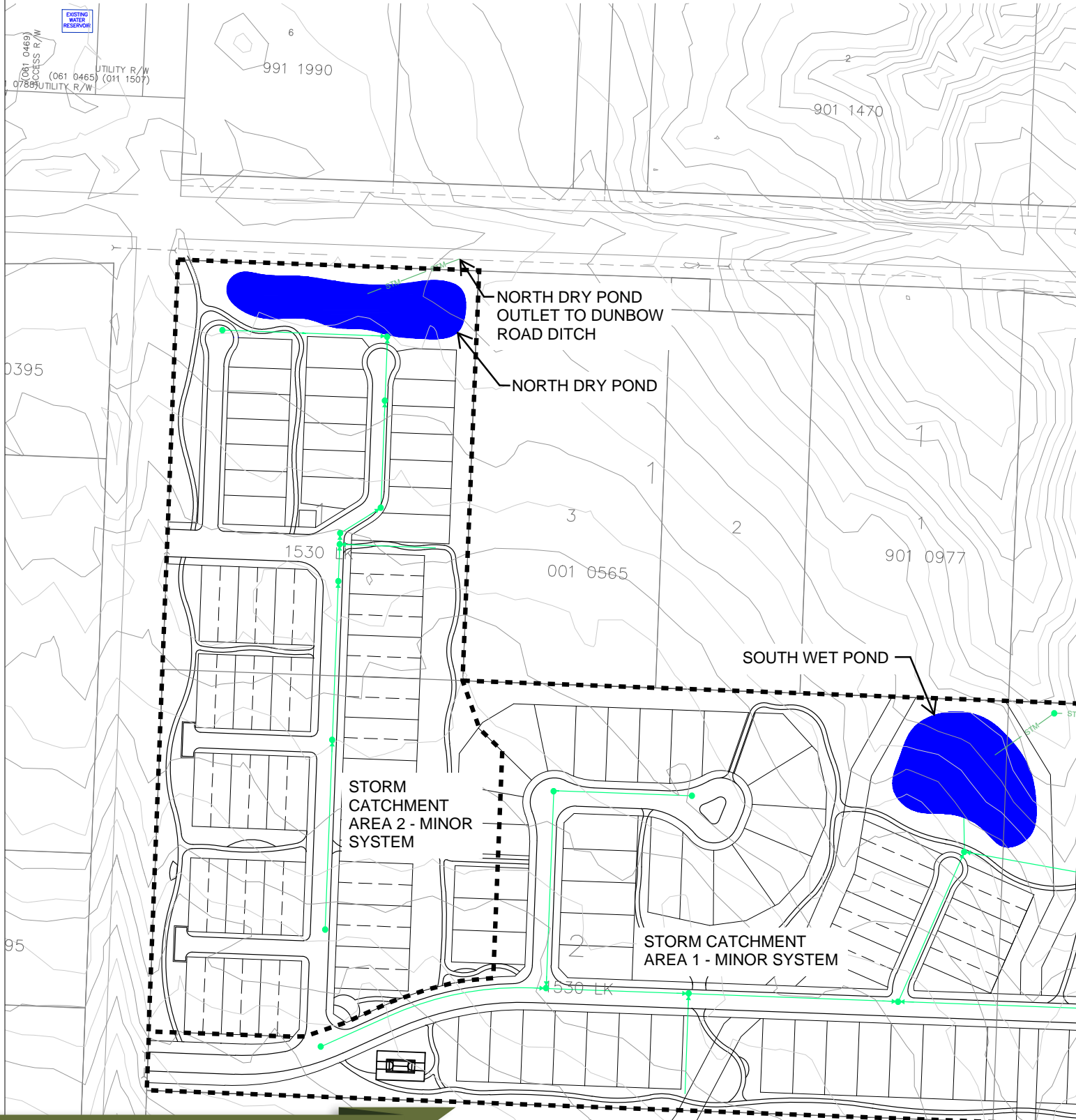
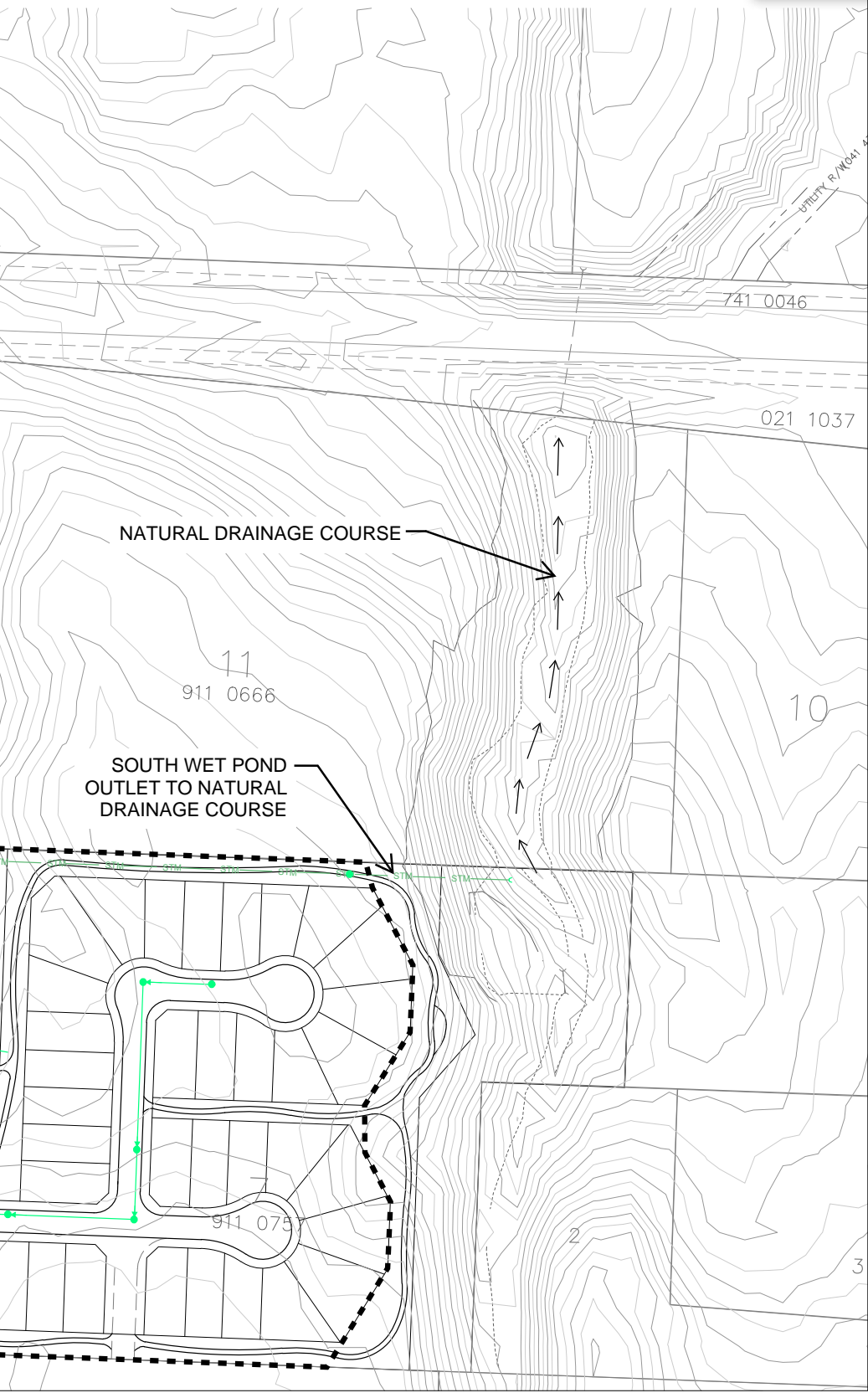







Figure 12: Stormwater Management System

6.0 Servicing



LEGEND

-  PROPOSED STORM WATER OUTFALL
-  PROPOSED STORM WATER POND
-  PROPOSED STORM WATER LINE WITH FLOW DIRECTION
-  PROPOSED STORM MANHOLE
-  PROPOSED STORM CATCHMENT BOUNDARY - MINOR SYSTEM



6.2 Shallow Utility Servicing

It is expected that the shallow utility needs of the development (natural gas, electrical, communications, and cable) will be provided by an extension of existing infrastructure in the area. Utility providers in the area should be engaged during subsequent planning and design to determine specific utility requirements on-site, as well as potential upgrades to off-site infrastructure that may be required to support the development.

6.2.i

The Plan Area shall be serviced by shallow utilities including electricity, gas, cable, telephone, and high-speed internet, and must be installed at the sole expense of the developer to the extent required in the Development Agreement. Any upgrades required for shallow utility service shall be the responsibility of the developer to the satisfaction of the utility provider and Foothills County.

6.2.ii

Utility rights-of-way and easements, public utility lots, and road rights-of-way may be required as determined necessary to facilitate order and sequential development. A developer may be required to provide the utility rights-of-way or easements necessary to accommodate the extension of Municipal utilities through or adjacent to a site to allow for its servicing.

6.2.iii

The developer shall execute and comply with a Development Agreement to the satisfaction of Foothills County for the construction of all required on-site and off-site utility infrastructure.

6.2.iv

The location of all shallow utilities and the provision of rights-of-way and easements and related line assignments should be addressed to the mutual satisfaction of Foothills County, the developer, and the utility provider.

6.0 Servicing





7.0 Infrastructure





7.1 Transportation

7.1.1 External Transportation Network

In 2005, Alberta Transportation completed a study to determine the land requirements and design of an interchange at Dunbow Road and Macleod Trail. **Figure 13: Dunbow Road Interchange**, depicts the interchange as recommended by the Province. In 2015, Foothills County installed the signalized intersection at Dunbow and Highway 2A as an interim measure to improve safety.

In 2019, Foothills County undertook a Functional Study of the Dunbow Road corridor between Highway 2A (Macleod Trail) and Deerfoot Trail to accommodate additional growth and ensure efficient access to Dunbow Road for emergency vehicles. Dunbow Road has been constructed to a two-lane rural standard between Deerfoot Trail and Macleod Trail. It functions as a major collector and will be upgraded to a four-lane standard. 2nd Street East has been identified as requiring upgrades to accommodate Heritage Crossing.

The intersection of Dunbow Road and 8th Street was constructed to a flared standard with a dedicated left turning lane and two through lanes in both the eastbound and westbound directions. The intersection of Dunbow Road and 2nd Street East has also been equipped with left turning bays but it has only one through lane eastbound and one through lane westbound. Acceleration and deceleration lanes have been constructed to accommodate right turns on its southbound approach.

Foothills County and Watt Consulting Group completed a Functional Planning Study in March of 2022, which outlines options for improving conditions at the intersections of Dunbow Road and 2nd Street East and Dunbow Road and 8th Street. Bunt & Associates completed a Transportation Impact Assessment (TIA) in August of 2022, which determined that the functional planning work completed to date, including the recommendations regarding the treatment at Dunbow Road and 2nd Street East intersection, meets the requirements to facilitate Heritage Crossing to the satisfaction of Foothills County.

7.1.1.i

The developer shall execute and comply with a Foothills County Development Agreement for all transportation related construction and contributions at the time of subdivision to the satisfaction of Foothills County.

7.1.1.ii

The developer shall contribute to the improvement of Dunbow Road by way of Foothills County's Community Sustainability Fee, as outlined in Foothills County's Development Agreement, the value of which shall be determined and paid for at the subdivision stage to the satisfaction of Foothills County.

7.1.1.iii

2nd Street East shall be upgraded to a nine (9) metre paved surface within a 30 metre right of way in accordance with the Bunt & Associates Transportation Impact Assessment, at the sole expense of the developer and to the satisfaction of the Foothills County. The developer shall dedicate land necessary to accommodate the upgrade to the satisfaction of Foothills County.

7.1.1.iv

Upgrades to 2nd Street East and timelines for the upgrades shall be identified in an executed Development Agreement to the satisfaction of Foothills County. The Development Agreement shall indicate the specific length of 2nd Street East to be upgraded by the developer.

The long-term conceptual illustration on **Figure 13: Dunbow Road Interchange** is for illustrative purposes only. The illustration identifies how the long term road system could be supported, and it can be revised without amendment to this plan.

7.0 Infrastructure



Revised Text: semi-detached dwellings.

7.1.2 Internal Transportation Network

Internal roads are intended to be constructed by the developer and owned and maintained by Foothills County upon issuance of a Final Acceptance Certificate. In order to allow for walkable connections throughout the community, it is proposed that a 16 metre residential road standard be utilized as depicted in **Figure 14**.

A second internal road standard has been developed for the connections to the ~~multi-family villas~~, and provides a 12 meter road right of way as depicted in **Figure 15: Villa/Bungalow Street Section**. The final design and construction of internal road conjunction with the Public satisfaction of Foothills Cour

Revised Text: 12m RMF District

Figure 16: Entry Street Section provides a conceptual design for the entrance to Heritage Crossing and the design elements that could be incorporated.

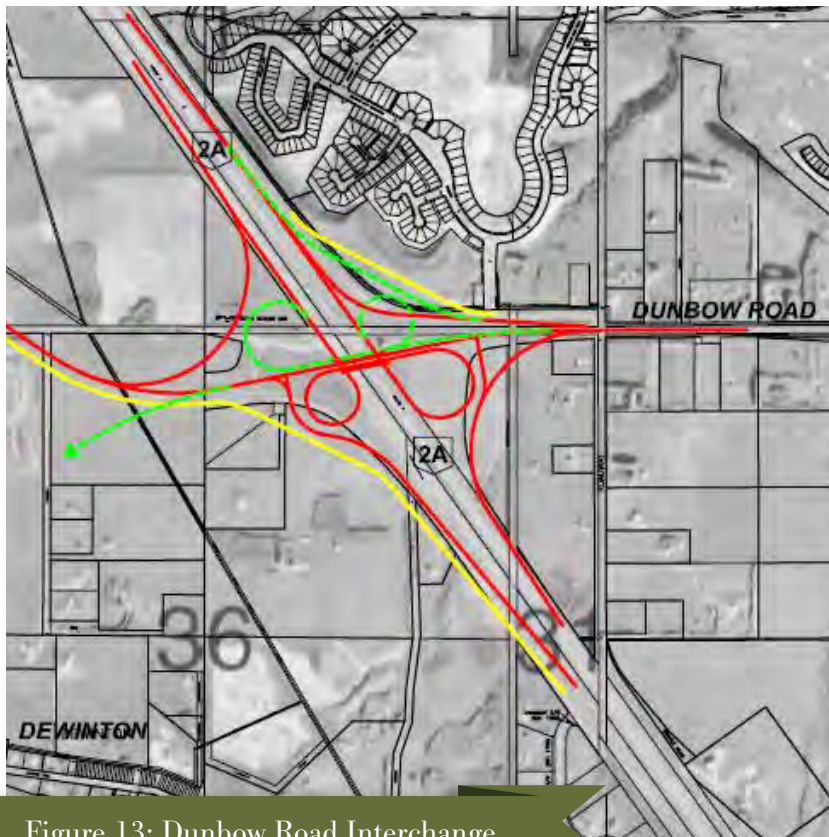


Figure 13: Dunbow Road Interchange

7.1.2.i

The designation and design of local roadways within the internal transportation network, such as the classification and intersection/ access spacing, shall be designed to the satisfaction of Foothills County.

7.1.2.ii

All internal roads shall be constructed by the developer to the satisfaction of Foothills County. Foothills County will own and maintain the internal roads upon issuance of a Final Acceptance Certificate.

7.1.2.iii

Endeavors to Assist should be considered, in collaboration with Foothills County, to address planned excess capacity (i.e. - oversizing) or in providing assistance to benefiting areas, as a result of constructing infrastructure improvements or boundary roads. This consideration ensures appropriate compensation is provided to the developer who front ended the cost for benefiting lands. Applicable Endeavors to Assist are typically determined at the subdivision stage and shall be to the satisfaction of Foothills County.

7.1.2.iv

Vehicular access to the adjacent lands to the south may be provided through the proposed internal road network, to the satisfaction of Foothills County.



Figure 14: 16m Residential Street



Revised Text: RMF District

Figure 15: 12m Villa Street



7.0 Infrastructure



7.2 Emergency Services

Emergency services include fire, EMS, and protective service needs. Fire and EMS services will be provided by the Foothills Fire Department from the Heritage Pointe station, while the protective services will be provided from local Royal Canadian Mounted Police (RCMP) detachments. As growth and development occurs within the Plan Area, the developer needs to ensure an appropriate and efficient level of fire and protective service is made available for current and future residents in order to provide a safe and livable community.

7.2.i

At the land use stage, the developer, in association with Municipal Fire Services, the RCMP, and other emergency service providers, shall ensure an adequate level of service is provided, as established by the provincial authority, to meet current and future needs based on projected population growth and demographic change in the Plan Area.

7.2.ii

All development within the Plan Area shall provide fire suppression in accordance with Foothills County requirements.

7.2.iii

Policing will be provided by the RCMP as per the Provincial Police Service Agreement, until such time as another policing solution is required or sought out.







7.2



Key Plan



Legend

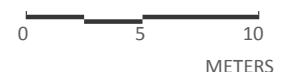
-  Sod
-  Trees
-  Shrubs
-  Perennials
-  Bench
-  Property Line

- 1. Main Entry
- 2. Entry Feature
- 3. Residential Area
- 4. Boulevard Trees
- 5a. 1.5m Wide Concrete Sidewalk
- 5b. 2m Wide Asphalt Pathway
- 6. Planting Bed
- 7. Grass Berm
- 8. Grass Berm with Planting
- 9. Multi-Sport Court
- 10. Community Board
- 11. Corner Plaza
- 12. Seating Node
- 13. Crosswalk



Figure 16: Entry Street Section

7.0 Infrastructure





8.0 Implementation Framework





8.1 Phasing

~~Phasing within Heritage Crossing will be determined by market demand and servicing efficiency at the discretion of the developer. A phasing strategy may be developed at a subsequent stage once the correct location for off-site and on-site servicing upgrades have been confirmed. More than one phase may proceed at the same time and the order and size of phases may change without amendment to this plan.~~

Update Policy: The phasing strategy shall generally align with the Phasing Plan depicted in Figure 17 and will be based on the availability of servicing and market conditions at the time of construction.

Insert new phasing Figure.

8.2 Plan Amendment

The Heritage Crossing ASP falls within a hierarchy of applicable statutory plans at the regional and municipal levels. Any amendment to the plan will align with the applicable statutory plans and Foothills County's process for amending Area Structure Plans.

Update Text: will generally occur in alignment with Figure 17: Phasing Plan, and will be determined by market demand and servicing efficiency at the discretion of the developer. Updates to the phasing strategy may be developed at subsequent stages once the correct location for off-site and on-site servicing upgrades have been confirmed. More than one phase may proceed at the same time.

8.1.i

Each stage of development may contain one or more phases at the discretion of the developer.

8.1.ii

The developer shall be responsible for providing a road naming plan at the subdivision stage for first phase of development.

8.1.iii

~~The phasing strategy shall be determined based on the availability of servicing and market conditions at the time of construction.~~

8.2.i

Any changes to the Heritage Crossing ASP, be they text or map alterations, may require amendment of the Plan unless otherwise stated or deemed necessary by the Approving Authority. Applicants within the Plan Area shall submit all necessary supporting information to Foothills County to allow for evaluation of the potential amendment.



8.3 Public Engagement

The project team has initiated a robust engagement strategy to communicate key goals with area residents, stakeholders, Foothills County councillors, and the general public. The overarching goal was to effectively engage with the public and stakeholder groups to raise awareness of the plan, encourage feedback on its details, and gain support for the resulting Heritage Crossing ASP.

The project team is dedicated to a transparent and inclusive engagement process. We recognize that the experts about a site are those who live in the area and are committed to working with stakeholders to achieve our client's vision.

Tools and Strategies

The project team provided an array of feedback mechanisms that allowed both event attendees and those who could not attend the opportunity to provide their thoughts and concerns to the project team in a variety of ways. The team aimed to be transparent, inclusive, responsive, and timely throughout the process to build community and stakeholder trust.



A project website was created to provide updated information regarding the vision, objectives, and progress of the project. The website allows updates to be provided as they happen to keep residents and stakeholders apprised of progress and encouraging feedback at each stage.



A letter detailing the vision, site specifics, and objectives was sent to all residents in a 0.5 mile radius of the Plan Area and all residents of Heritage Pointe. The letter included the website and an email address which respondents could use to provide their feedback.



An open house was held on Thursday June 09, 2022 prior to submission of the ASP Application. The open house was framed as a community conversation with members of the Township Planning team.



“What We Heard” Report

All input from participants in the engagement process has been recorded and compiled into a “What We Heard” report. This “What We Heard” document was made available to the public through the associated project website and has been included under separate cover with this ASP application. Every effort will be made to listen to and incorporate public feedback.

We acknowledge that not all suggestions from stakeholders have been incorporated into the final design. In light of this, the “What We Heard” Report identifies participant suggestions and concerns and outlines which feedback has been incorporated. When input has not been integrated the team has addressed why these changes were not applied.



9.0 Glossary





9.1 Terminology

Architectural Controls: a set of guidelines to create a unified and cohesive visual community. In this case, the architectural controls aim to create a rural residential neighbourhood theme and provide for balance in forms, colours, and materials to make a beautiful and architecturally varied community.

Area Structure Plan: is a statutory plan, adopted by Bylaw which provides a framework for redesignation, subdivision and development of a specific area of land.

Biophysical Impact Assessment: A Desktop Analysis with some field verification, identifying any potential biophysical constraints or issues and providing recommendations for potential future Biophysical Impact Assessment work required.

Built Form: the shape, configuration, and appearance of buildings and the relationship of these buildings to the streetscape and one another.

Dwelling Density: the number of dwelling units per acre.

Gross density: the number of dwelling units per acre of the entire Plan Area (gross area).

Net density: the number of dwelling units per acre of the developable acreage.

Development Agreement: an agreement between the developer and Foothills County that outlines the terms and responsibilities for the completion of the community.

Easement: means a dedication of land, or an interest or right held by a municipality, for the purpose of locating public utilities.

Environmental Reserve: land may be dedicated as environmental reserve if it meets the criteria established in the Municipal Government Act. Within Heritage Crossing they are typically lands that are considered unsuitable for development to protect the natural environment, people, and property from hazardous conditions (eg. flooding) and provide public access to or along lakes and rivers. ER lands are intended to be left in their natural condition as much as possible. Public trails may be developed where conditions are favourable.

Forcemain: a pipeline dedicated to conveying wastewater from one point to another with the aid of a pump, typically pumping wastewater from a lift station to a catchment area or discharge point.

Hierarchy of Roads

Local: local roadways serve traffic within a localized area. The local roadways are typically the main access for developments and agricultural, resource and natural areas of the province.

Collector: collector roadways convey traffic from major centres such as communities, and / or commercial, or industrial developments but with overall shorter travel distances. These roadways provide the connection between local roads and arterials, and generally serve traffic between municipalities only.

Arterial: arterial roadways convey people, goods and services intra-provincially only and support traffic over long distances. Access is limited to connections with Highways and Collector roads.

Highway: these highways accommodate the movement of people, goods, and services inter-provincially and internationally. Access is limited and generally only provided for connection to arterial roads.

9.0 Glossary



Land Use Concept: The proposed community planning framework inclusive of the Land Use Concept for the Plan Area. The land use concept highlights the intended form, use, and character from a community design perspective within the Heritage Crossing.

Lift Station: a point along the conveyance path of wastewater that pumps the wastewater from a lower elevation to a higher elevation.

Municipal Land Reserve District: a land use district in the Foothills County Land Use Bylaw used to allow for schools, parks, community facilities, and recreation facilities on municipally owned recreation or educational properties, and land dedicated as reserve, municipal school reserve, community reserve, public reserve, and reserve pursuant to the Municipal Government Act.

Municipal Reserve: land may be dedicated as municipal reserve if it meets the criteria established in the Municipal Government Act. Within Heritage Crossing, these lands are typically intended for the allocation for recreation facilities or public use. MR may provide important access links to other lands such as river access, and can offer undeveloped green spaces.

Oil Grit Separator: Oil/grit separators are underground storage tanks with multiple chambers designed to remove heavy particulates, floating debris and hydrocarbons from stormwater.

Open Space: lands that are dedicated to the passive or active recreational uses throughout the plan area for public use. These could be designated as MR, MLR, or ER.

Public Utility Lot: Public Utility Lots accommodate public and private utilities and facilities needed to serve the County. They may retain stormwater and are often designed as public amenity spaces for use during dry periods.

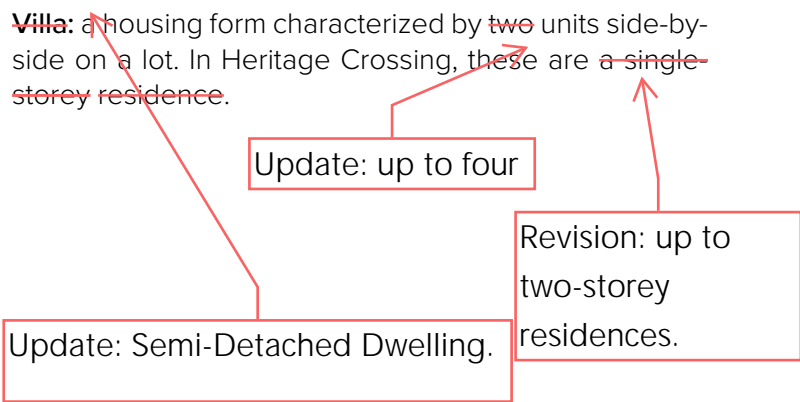
Within Heritage Crossing, these areas, often empty during dry periods, are low points in the Plan Area that water is conveyed to in times of 1:100 year events, heavy rainfall, snow melt, or flood events.

Restrictive Covenant: a condition placed on a portion of land through an instrument on Title that restricts the uses allowed on that land.


Stormwater Management Plan: A report outlining the strategies for stormwater conveyance and retention for the entirety of a Plan Area. A more detailed version of the SWMP will be required at subsequent stages and will focus on smaller areas of land.

Transportation Impact Assessment: A Transportation Impact Assessment is completed by a transportation engineer and determines the road network upgrades required over time to support population growth from buildout.

Villa: a housing form characterized by ~~two~~ units side-by-side on a lot. In Heritage Crossing, these are a ~~single~~ storey residence.



**MISCELLANEOUS PLANNING ITEM
PLANNING AND DEVELOPMENT REPORT TO COUNCIL
SECOND AND THIRD READING TO BYLAW 69/2023
February 19th, 2025**

SECOND AND THIRD READING TO BYLAW 69/2023		
APPLICATION INFORMATION	FILE NO. 23R040	
	LEGAL DESCRIPTION: Plan 9111702, Block 1, PTN: SW 32-22-03-W5M	
	LANDOWNERS: Nicolas and Lee Misura	
	AREA OF SUBJECT LANDS: 99.09 acres	
	CURRENT LAND USE: Agricultural District	
	PROPOSED LAND USES: Agricultural District	
PROPOSAL: Amendment to the Agricultural District to allow the future subdivision of one new 25.0 +/- acre Agricultural District lot, with a 74.09 +/- acre Agricultural District balance parcel from Plan 9111702, Block 1; PTN: SW 32-22-03-W5M.		
DIVISION NO: 4	COUNCILLOR: Suzanne Oel	FILE MANAGER: Theresa Chipchase

PURPOSE OF REQUEST

Request to Council to provide second and third reading to Bylaw 69/2023, as all conditions put forth with first reading of this bylaw have been complied with.

BACKGROUND

Location

The property is located approximately 5.5 kilometres northwest of the Hamlet of Priddis, north of Highway 22, directly north of 162nd Avenue, between 272nd Street West and 264th Street West. The parcel is also directly adjacent to a 0.49-acre parcel located between the applicant's lands and the road right of way for 162nd Avenue West, which is in title to Alberta Environment and Protected Areas.

Pertinent Site Considerations

The lands consist of a high flat plateau to the west, with a steep valley just east of the existing yard site which slopes to low flat terrain along the east boundary. The property is extensively covered in dense spruce and aspen tree cover, outside small sections of open grassland and contains an unnamed creek traversing through the northeast corner of the property.

PREVIOUS COUNCIL DIRECTION

November 22nd, 2023, Bylaw 69/2023 – application approved by Council granting first reading to Bylaw 69/2023, under the following motion:

“Council gave first reading to Bylaw 69/2023 to authorize an amendment to the Agricultural District land use rules in order to allow for the future subdivision of one 25.0 +/- acre Agricultural District lot, with a 74.09 +/- acre Agricultural District balance parcel on Plan 9111702, Block 1; Ptn. SW 32-22-03 W5M.

In their consideration of the criteria noted in Agriculture Policy 4 of the MDP2010, Council is of the opinion that fragmentation of the subject lands would not be detrimental to the agricultural nature of the area. Further, the application falls within the density provisions and lot size restrictions of the Agricultural District of Land Use Bylaw 60/2014.

Prior to further consideration of the bylaw the applicant will be required to submit the following:

- 1. Applicant to fully execute and comply with all requirements as outlined within a Development Agreement for the purposes of payment of the community sustainability fee and any other necessary municipal and on-site improvements as required by Council and/or the Public Works department;*
- 2. Proof of adequate water supply is to be provided in accordance with the Provincial Water Act, to the satisfaction of the County;*
- 3. Final amendment application fees to be submitted;*
- 4. Submission of an executed subdivision application and the necessary fees.*

COUNCIL ACTION REQUESTED – SECOND AND THIRD READING TO BYLAW 24/2024

Request to Council to provide second and third reading to Bylaw 69/2023 for an amendment to the Agricultural District land use rules, to allow the future subdivision of one 25.0 +/- acre Agricultural District parcel, with a 74.09 +/- acre Agricultural District balance parcel, on Plan 9111702, Block 1; PTN: SW 32-22-03-W5M.

In their consideration of the criteria noted in Agriculture Policy 4 of the MDP2010, Council is of the opinion that fragmentation of the subject lands would not be detrimental to the agricultural nature of the area. Further the application falls within the density provisions and lot size restrictions of the Agricultural District of Land Use Bylaw 60/2014.

APPENDICES

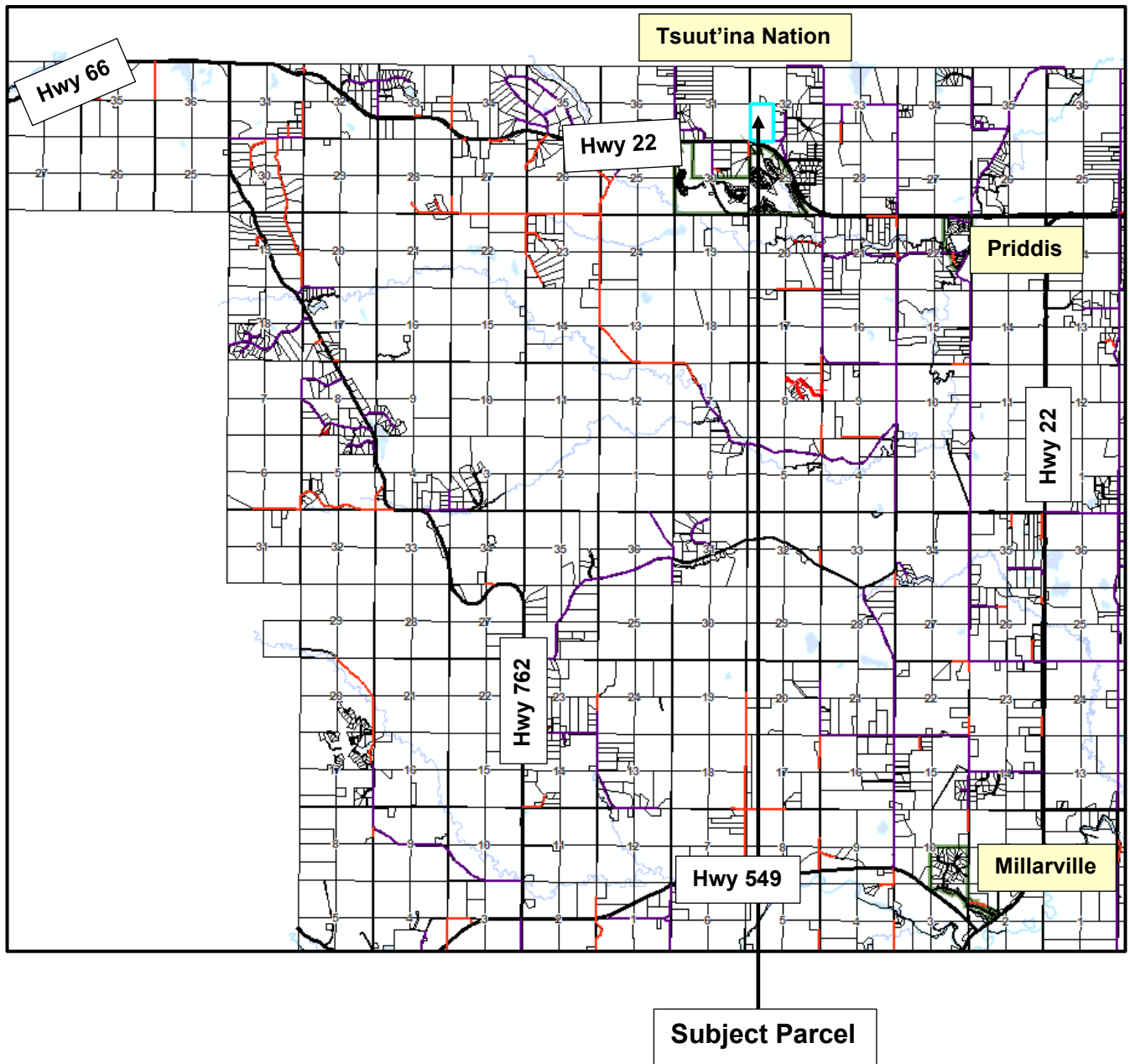
APPENDIX A - MAP SET

LOCATION MAP
LAND USE MAP
LOT SIZES MAP
SITE PLAN
ORTHO PHOTO

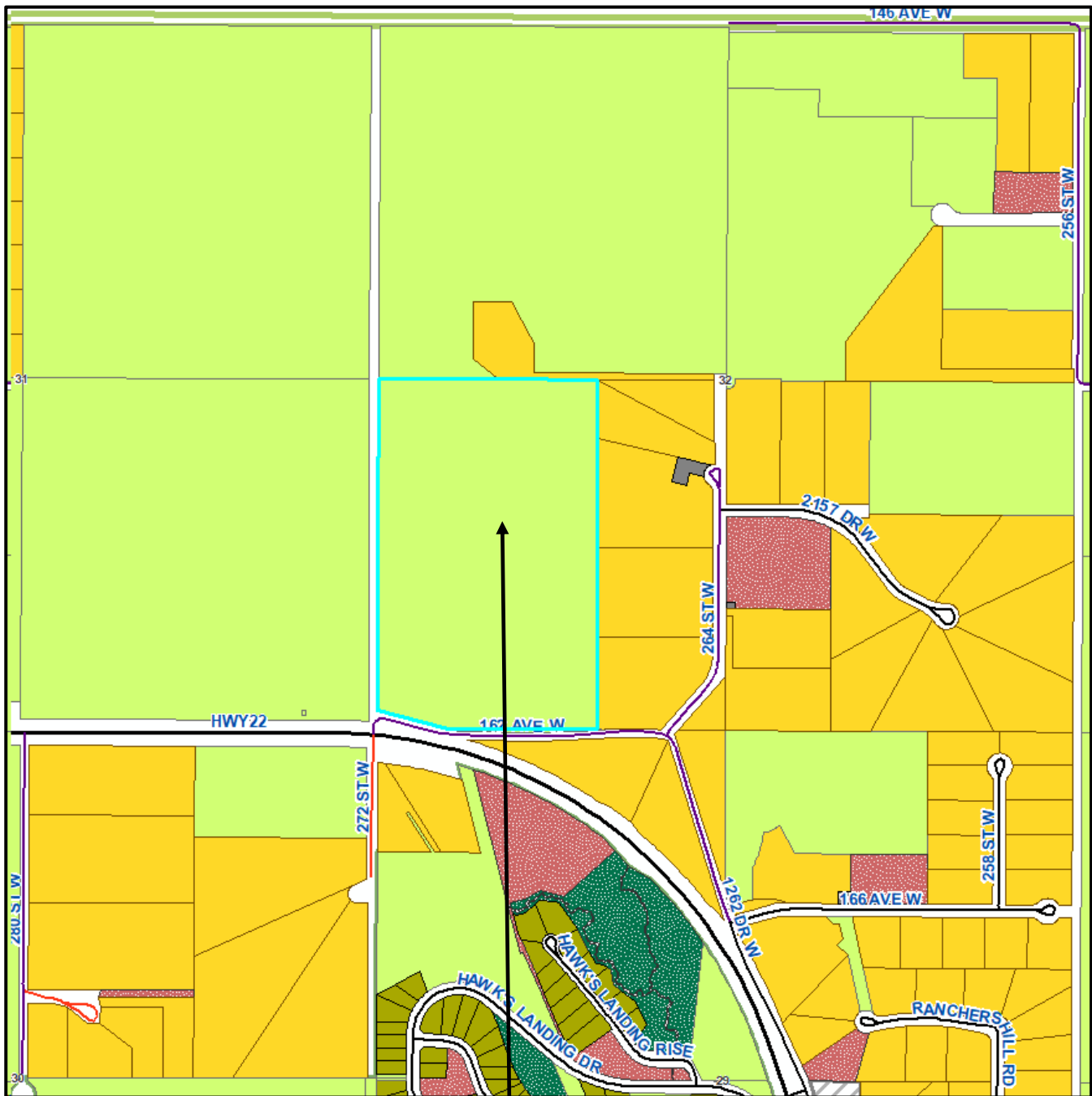
APPENDIX B

BYLAW 69/2023 - FIRST READING

APPENDIX A: LOCATION MAP



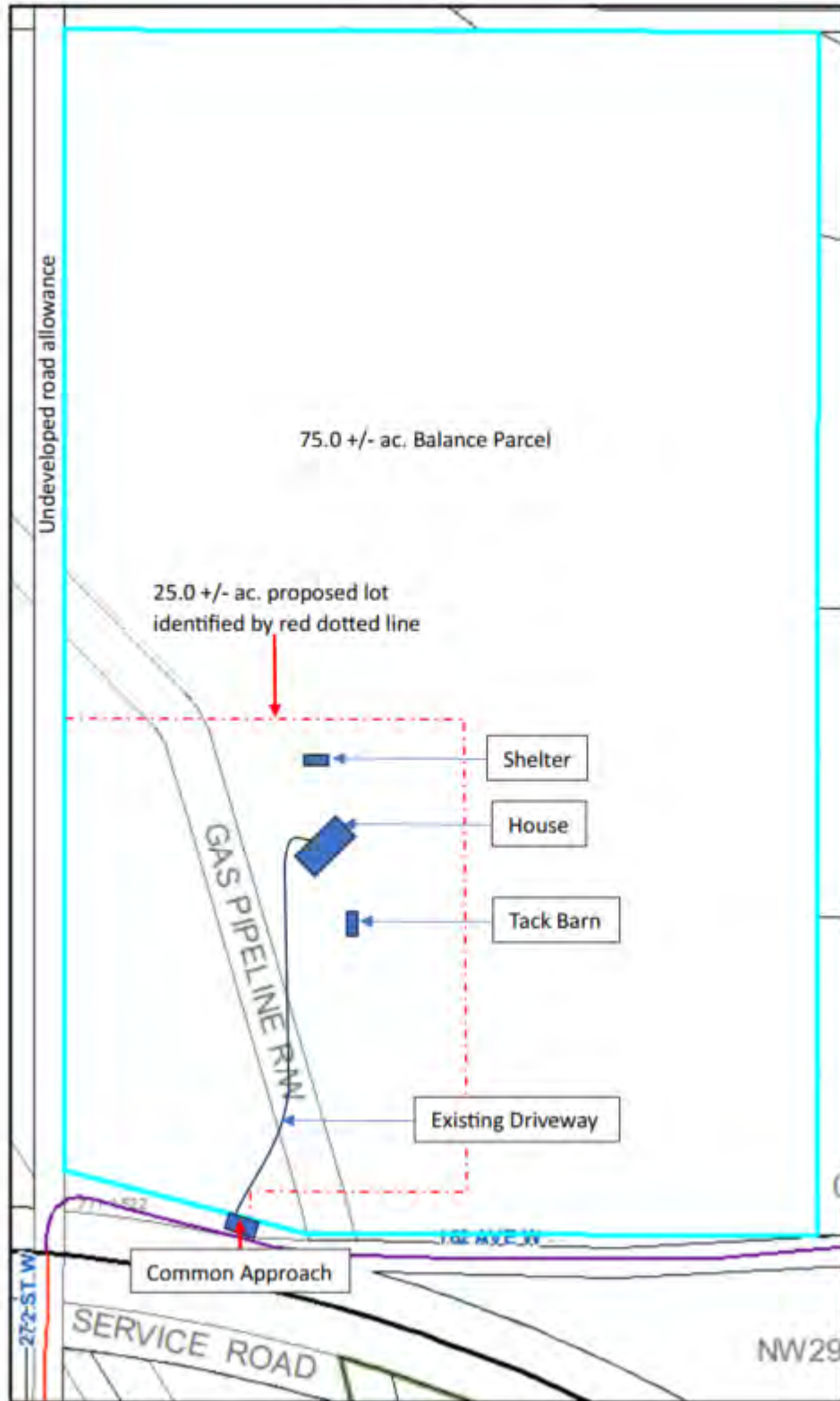
APPENDIX A: HALF MILE MAP – LAND USE



Subject Parcel

Legend		
Hard Surface (Chip/oil)	CR- Country Residential	MR- Municipal Reserve
Gravel	CRA- Country Residential Sub A	MLR- Municipal Land/Reserve District
Developer Pavement	DC - Direct Control	
Pavement	BP- Bussiness Park	
Flood Hazard Protection District	RB- Rural Business	
In Transition	INR- Natural Resource Extraction	
A- Agricultural	EP- Environmental Protection	
AA- Agricultural Sub A	ER- Environmental Reserve	

Misura Site Plan





BYLAW 69/2023

BEING A BYLAW OF FOOTHILLS COUNTY TO AUTHORIZE AN AMENDMENT TO THE LAND USE BYLAW NO. 60/2014 AS AMENDED

WHEREAS pursuant to the provisions of the Municipal Government Act, Chapter M-26 Revised Statutes of Alberta 2000, and amendments thereto, the Council of Foothills County in the Province of Alberta, has adopted Land Use Bylaw No. 60/2014 and amendments thereto;

AND WHEREAS the Council has received an application to further amend the Land Use Bylaw by authorizing the amendment to the Agricultural Land Use District to allow for the future subdivision of one 25.0 +/- acre Agricultural District lot, leaving a 74.09 +/- acre Agricultural District balance parcel on Plan 9111702, Block 1; Ptn. SW 32-22-03 W5M.

NOW THEREFORE THE COUNCIL ENACTS AS FOLLOWS:

1. Under SECTION 12.0.0, AGRICULTURAL DISTRICT, the following shall be added under Part 8 Bylaw Amendments:

Plan 9111702, Block 1; Ptn. SW 32-22-03 W5M within which shall allow for the future subdivision of one new 25.0 +/- acre Agricultural District lot, with an approximate 74.09 +/- acre Agricultural District balance parcel.

2. This Bylaw shall have effect on the date of its third reading and upon being signed.

FIRST READING: November 22, 2023

Reeve

CAO

SECOND READING:

Reeve

CAO


THIRD READING:

Reeve

CAO

PASSED IN OPEN COUNCIL assembled at the Town of High River in the Province of Alberta this day of 20 .

**SUBDIVISION APPROVING AUTHORITY ITEM
PLANNING AND DEVELOPMENT REPORT TO COUNCIL
SUBDIVISION APPROVAL
February 19th, 2025**

REQUEST FOR SUBDIVISION APPROVAL		
APPLICATION INFORMATION	FILE NO. F2203-32SW	
	LEGAL DESCRIPTION: Plan 9111702, Block 1, PTN: SW 32-22-03-W5M	
	LANDOWNERS: Nicolas and Lee Misura	
	AREA OF SUBJECT LANDS: 99.09 acres	
	CURRENT LAND USE: Agricultural District	
PROPOSAL: Subdivision of one 25.0 +/- acre Agricultural District lot with a 74.09 +/- acre Agricultural District balance parcel from Plan 9111702, Block 1; PTN: SW 32-22-03-W5M.		
DIVISION NO: 4	COUNCILLOR: Suzanne Oel	FILE MANAGER: Theresa Chipchase

PURPOSE OF REQUEST

Requesting approval from the Subdivision Approving Authority for the application which proposes the subdivision of one 25.0 +/- acre Agricultural District lot with a 74.09 +/- acre Agricultural District balance parcel from Plan 9111702, Block 1; PTN: SW 32-22-03-W5M.

EXECUTIVE SUMMARY

Location

The property is located approximately 5.5 kilometres northwest of the Hamlet of Priddis, north of Highway 22, directly north of 162nd Avenue, between 272nd Street West and 264th Street West. The parcel is also directly adjacent to a 0.49-acre parcel located between the applicant's lands and the road right of way for 162nd Avenue West, which is in title to Alberta Environment and Protected Areas.

PREVIOUS COUNCIL DIRECTION

November 22nd, 2023, Bylaw 69/2023 – application approved by Council granting first reading to Bylaw 69/2023, under the following motion:

“Council gave first reading to Bylaw 69/2023 to authorize an amendment to the Agricultural District land use rules in order to allow for the future subdivision of one 25.0 +/- acre Agricultural District lot, with a 74.09 +/- acre Agricultural District balance parcel on Plan 9111702, Block 1; Ptn. SW 32-22-03 W5M.

In their consideration of the criteria noted in Agriculture Policy 4 of the MDP2010, Council is of the opinion that fragmentation of the subject lands would not be detrimental to the agricultural nature of the area. Further, the application falls within the density provisions and lot size restrictions of the Agricultural District of Land Use Bylaw 60/2014.

Prior to further consideration of the bylaw the applicant will be required to submit the following:

- 1. Applicant to fully execute and comply with all requirements as outlined within a Development Agreement for the purposes of payment of the community sustainability fee and any other*

necessary municipal and on-site improvements as required by Council and/or the Public Works department;

2. Proof of adequate water supply is to be provided in accordance with the Provincial Water Act, to the satisfaction of the County;
3. Final amendment application fees to be submitted;
4. Submission of an executed subdivision application and the necessary fees.

February 19th, 2025, Bylaw 69/2023 - was granted second and third reading to authorize an amendment to the Agricultural District land use rules to allow the future subdivision of one 25.0 +/- acre Agricultural District parcel, with a 74.09 +/- acre Agricultural District balance parcel, on Plan 9111702, Block 1; PTN: SW 32-22-03-W5M.

In their consideration of the criteria noted in Agricultural Policy 4 of the MDP2010, Council is of the opinion that fragmentation of the subject lands would not be detrimental to the agricultural nature of the area. Further the application falls within the density provisions and lot size restrictions of the Agricultural District of Land Use Bylaw 60/2014.

CIRCULATION REFERRALS	
REFEREE	COMMENTS
INTERNAL	
Public Works	Public Works has requested the following be completed for the proposed lot, as conditions of the subdivision : The approach is to be upgraded to common approach construction standards.
GIS/Mapping	No concerns
EXTERNAL	
TELUS	TELUS Communications Inc. at this time, has no concerns with the proposed activities.
FortisAlberta	We have reviewed the plan and determined that no easement is required by FortisAlberta.
ATCOGas	ATCO Gas has no objection to the proposed as it does not fall within our franchise area.
ATCO Transmission	ATCO Transmission high pressure pipelines has no objections.
Meota Gas	Meota Gas Co-operative Association Ltd. Has no issue with this application.
GIS/Mapping	No concerns
Alberta Transportation	This will acknowledge receipt of your circulation regarding the above noted proposal. The subsequent subdivision application would be subject to the requirements of Section 18 and 19 of the Matters Related to Subdivision and Development Regulation (The Regulation), due to the proximity of Highway(s) 22. Transportation and Economic Corridors offers the following comments with respect to this application:

CIRCULATION REFERRALS

	<p>The requirements of Section 18 of the Regulation are not met. The department anticipates minimal impact on the highway from this proposal. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 18 of the Regulation.</p> <p>The requirements of Section 19 of the Regulation are not met. There is no direct access to the highway and there is sufficient local road access to the subdivision and adjacent lands. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 19 of the Regulation.</p> <p>Transportation and Economic Corridors has the following additional comments and/or requirements with respect to this proposal:</p> <p>The department expects that the municipality will mitigate the impacts of traffic generated by developments approve on the local road connections to the highway system, Pursuant to Policy 7 of the Provincial Land Use Policies and Section 618.4 of the Municipal Government Act.</p> <p>Transportation and Economic Corridors expects that the municipality will mitigate the cumulative impacts of traffic generated by developments approved on the local road connection the highway system, pursuant to the South Saskatchewan Regional Plan and Section 648(2) of the Municipal Government Act.</p>
PUBLIC	
Landowners (Adjacent)	No letters received prior to the filing of this staff report.

REQUEST OF THE SUBDIVISION APPROVING AUTHORITY

The Subdivision Approving Authority may choose to approve the subdivision of one 25.0 +/- acre Agricultural District lot with an approximate 74.09 +/- acre Agricultural District balance parcel, from Plan 9111702, Block 1; PTN: SW 32-22-03-W5M. The Subdivision has been evaluated in terms of Section 654 of the Municipal Government Act and Section 9 of the Matters Related to Subdivision and Development Regulation and therefore it is recommended that the application be approved as per the tentative plan for the following reasons:

- The application is consistent with Section 9 of the Matters Related to Subdivision and Development Regulation and;
- Pursuant to Section 20 of the Regulation, written approval was received from the Minister of Transportation allowing the Subdivision Authority to grant a variance to Sections 18 and 19 of the Regulation, and;
- The subject lands have the appropriate land use designations

In consideration of the criteria noted within the Residential Policy of the MDP2010, the Subdivision Authority is of the opinion that the lands are suitable for the intended use and further that the application falls within the density provisions and lot size restrictions within the County's Land Use Bylaw.

Further, in accordance with Sections 654 and 655 of the Municipal Government Act, the application is approved subject to the following conditions:

1. Subdivision to be effected by Plan of Survey, pursuant to Section 657 of the Municipal Government Act, or such other means satisfactory to the Registrar of the South Alberta Land Titles District;
2. It is the applicant's responsibility to provide a Real Property Report or an 'as built' drawing signed and sealed by an Alberta Land Surveyor, certifying the location of the adjacent municipal road(s), approaches, septic tank and field and water well(s) within the boundaries of the appropriate properties and that the site plan is surveyed according to municipal setback requirements;
3. Completion of all pre-release conditions as noted in the executed Municipal Development Agreement to the satisfaction of the County and where applicable the appropriate external agencies. These conditions include:
 - a. Payment of the \$11,300.00, per new lot, Community Sustainability Fee, as set out in Section 3.03 of the executed Municipal Development Agreement;
 - b. All utility right of way agreements, easements, licenses and installations.
4. Reserves: Pursuant to Section III of the County's Municipal Reserve Policy, Council may require the reserves for the 25.0 +/- acre lot to be deferred, by caveat, to the largest lot (74.17 +/- acre balance parcel), as the maximum allowable density for this parcel, under the County's Land Use Bylaw, has not yet been obtained, and the new lot will remain under the Agricultural District land use rules;
5. All accesses to be located and culverts and approaches to be installed to current Municipal subdivision road construction standards, to the satisfaction of the Public Works department;
6. Landowners are to pay all arrears of taxes on the existing parcels prior to finalization of the subdivision; and
7. Submission of subdivision endorsement fees.

APPENDICES

APPENDIX A - MAP SET:

LOCATION MAP

LAND USE MAP

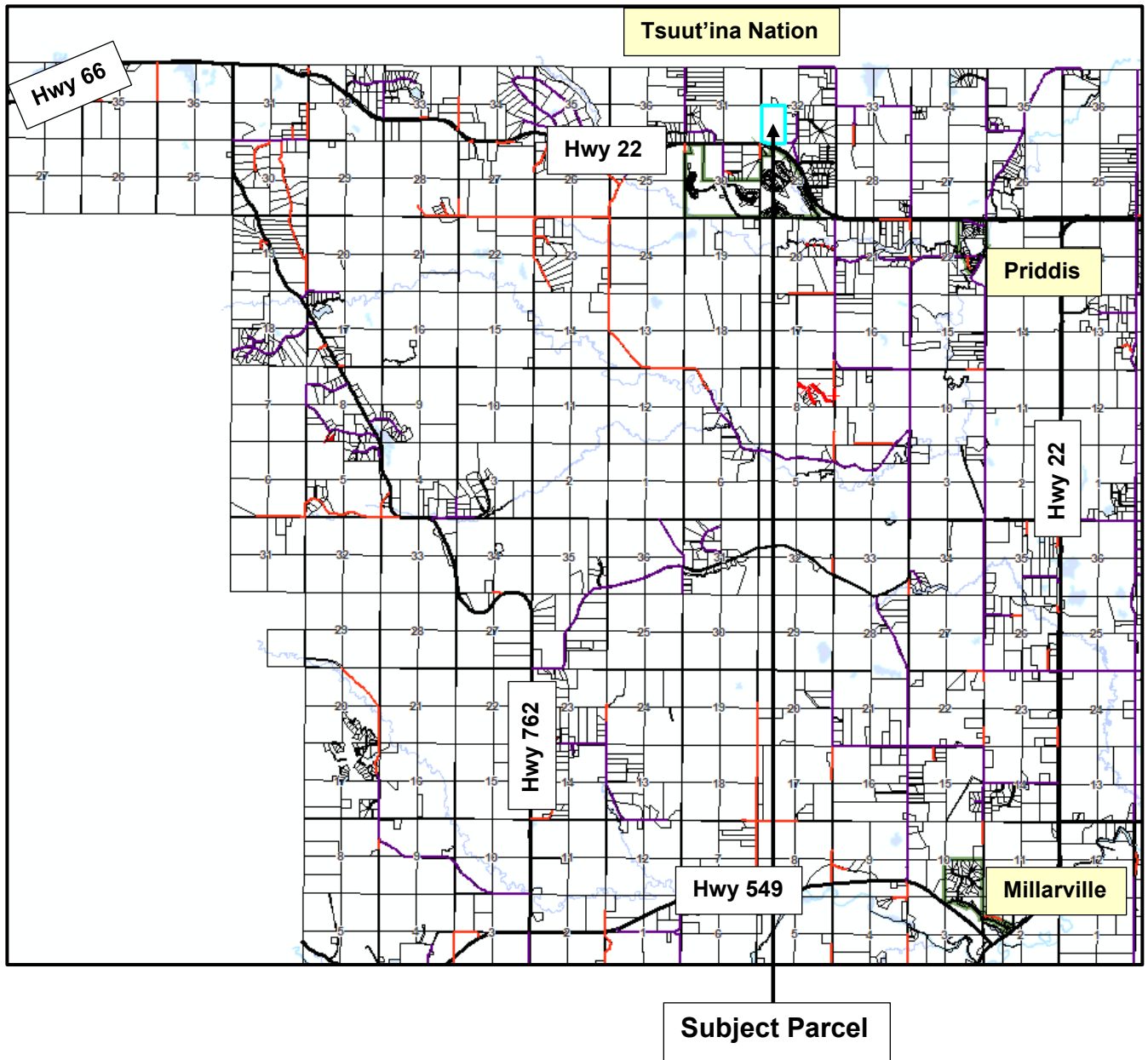
LOT SIZES MAP

SITE PLAN

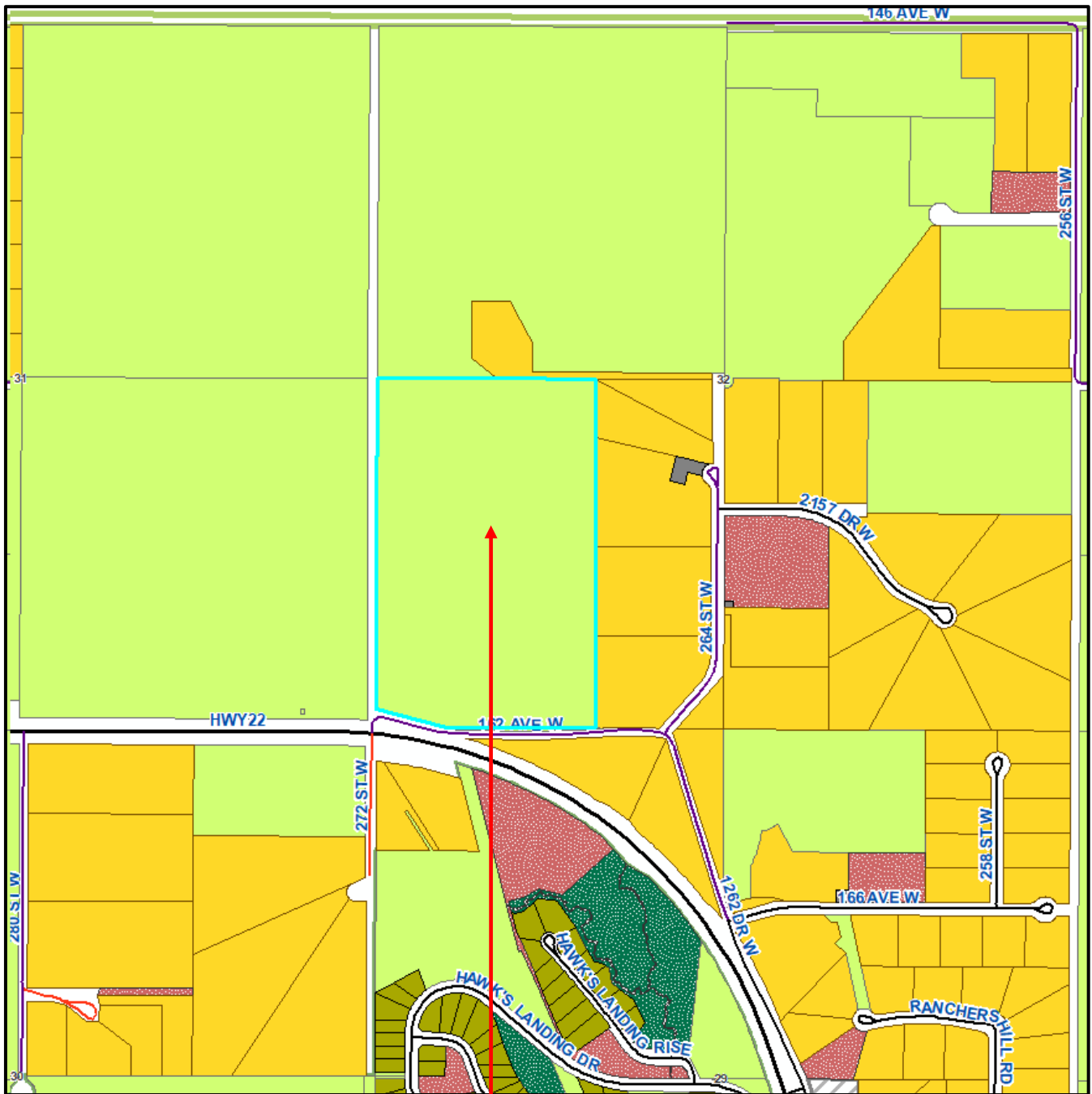
ORTHO PHOTO

PUBLIC RESERVE AMOUNT FOR SUBDIVISION

APPENDIX A: LOCATION MAP

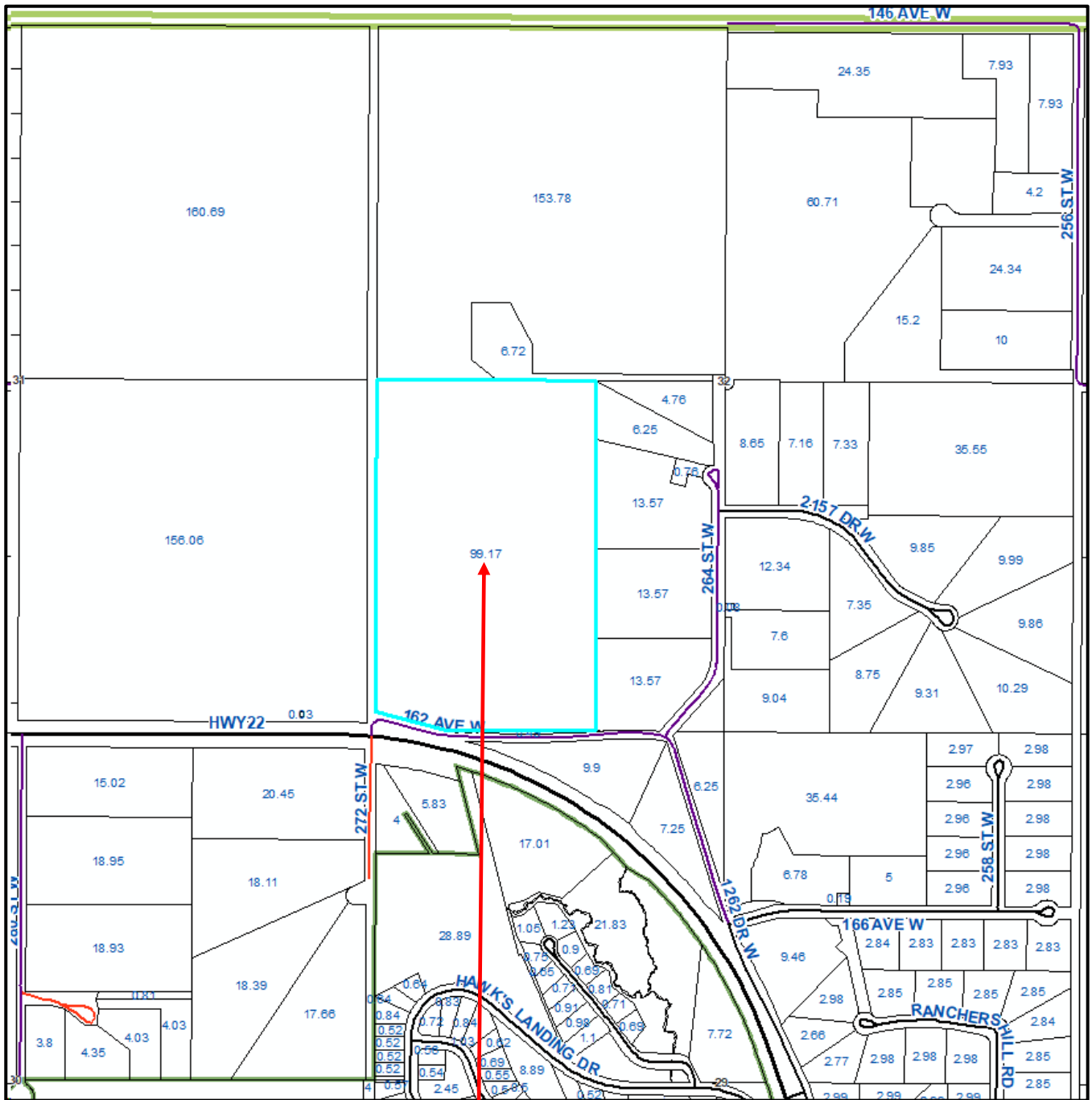


APPENDIX A: HALF MILE MAP – LAND USE



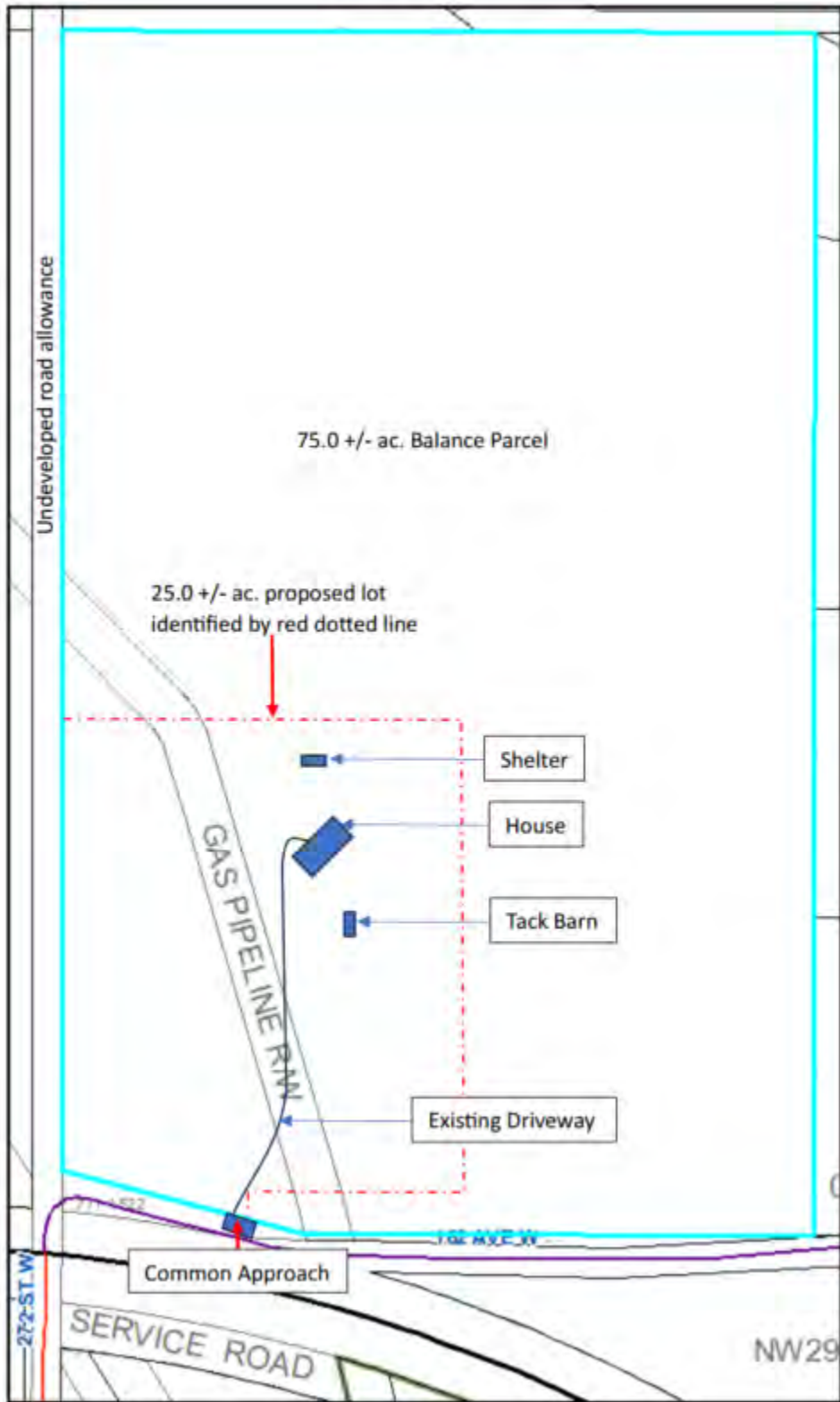
Subject Parcel

APPENDIX A: HALF MILE MAP – LOT SIZES



Subject Parcel

Misura Site Plan





COUNCIL ADMINISTRATIVE REPORT

Department: Community Services

TITLE: FCSS Community Services Committee



Author: Morgan Nesom, FCSS Assistant

Report Presented by: Councillor Barb Castell

DATE: February 19, 2025

FCSS Community Services Committee Report

PURPOSE:

For Council to review 2025 FCSS grant application approvals made by the FCSS Community Services Committee.

BACKGROUND:

Family Community Support Services (FCSS) is a unique 80/20 funding partnership between the Government of Alberta and participating municipalities. Contributions are made through the provincially funded program whereby the Province of Alberta provides 80% of the budget, and that Foothills County is required to match the grant by providing at least 20% of the funding toward support of qualified programs. The FCSS Program receives its mandate from the FCSS Act and Regulation.

Under FCSS, communities design and deliver social programs that are preventative in nature to promote and enhance well-being among individuals, families, and communities. The programs developed are intended to help individuals within their communities to adopt healthy lifestyles, thereby improving the quality of life and building the capacity to prevent and/or deal with crisis situations should they arise. Programs depend on community resources, often involving volunteers in management and delivery.

The FCSS Community Services Committee meets to review all applications submitted to Foothills County FCSS and provides a report to Council.

SUMMARY OF APPROVALS:

BGC Foothills Clubs: Moved by Barb Castell that BGC Foothills Clubs be granted \$30,000 for Youth Programming. BGC Foothills Clubs received \$30,000 for Youth Programming in 2024.

CARRIED

Blackie Community Association:

Moved by Rob Siewert that the Blackie Community Association be granted \$1,200 for the Blackie Community Newsletter. The Blackie Community Newsletter received \$1,000 for The Blackie Community Newsletter in 2024.

CARRIED

Blackie Community Library:

Moved by Rob Siewert that the Blackie Community Library be granted \$700 for the Triple Enhancement Program. The Blackie Community Library received \$700 for the Triple Enhancement Program in 2024.

CARRIED

Christ the Redeemer Catholic Separate School Division:

Moved by Barb Castell that the Christ the Redeemer Catholic Separate School Division be granted \$20,000 for the Connections Program. Christ the Redeemer Catholic Schools received \$30,000 for the Connections Program in 2024.

CARRIED

Christ the Redeemer Catholic Separate School Division:

Moved by Rob Siewert that the Christ the Redeemer Catholic Separate School Division be granted \$20,000 for the Family School Liaison Program. Christ the Redeemer Catholic Separate School Division received \$30,000 for the Family School Liaison Program in 2024.

CARRIED

Foothills Country Hospice Society:

Moved by Barb Castell that Foothills County Hospice Society be granted \$14,780 for the Volunteer Services Program. Foothills Country Hospice Society received \$16,400 in 2024.

CARRIED

Foothills Land Trust:

Moved by Rob Siewert that Foothills Land Trust be granted \$795 for the Volunteer Recognition. Foothills Land Trust received \$1,000 in 2024.

CARRIED

Foothills School Division:

Moved by Barb Castell that Foothills School Division be granted \$20,000 for the Family School Liaison Program. The Foothills School Division received \$20,000 in 2024.

CARRIED

Inclusion Foothills:

Moved by Rob Siewert that Inclusion Foothills be granted \$18,000 for the Family Support Program. Inclusion Foothills received \$18,000 in 2024.

CARRIED

Okotoks and District Seniors' Club:

Moved by Barb Castell that Okotoks and District Seniors' Club be granted \$10,000 for the Program Facilitator. Okotoks and District Seniors' Club received \$15,000 in 2024.

CARRIED

Okotoks Family Resource Centre:

Moved by Rob Siewert that Okotoks Family Resource Centre be granted \$12,000 for the Family Resource Centre. Okotoks Family Resource Centre received \$12,000 in 2024.

CARRIED

Rowan House Society:

Moved by Barb Castell that Rowan House Society be granted \$13,000 for the Branches Preventative Education Program. Rowan House Society prevention program received \$13,000 in 2024.

CARRIED

Rowan House Society:

Moved by Rob Siewert that Rowan House Society be granted \$15,000 for the Volunteer and Events Program. The Rowan House Society Volunteer Program received \$15,000 in 2024.

CARRIED

Sheep River Library:

Moved by Barb Castell that Sheep River Library be granted \$1,200 for Volunteer Recruitment, Retention & Recognition. The Sheep River Library received \$1,200 in 2024.

CARRIED

Solace Grief Support Society:

Moved by Rob Siewert that Solace Grief Support Society be granted \$2,520 for the Group Counselling Program. Solace Grief Support Society received \$1,200 in 2024.

CARRIED

Town of High River FCSS

Resource Centre:

Moved by Barb Castell that the Town of High River FCSS receive a grant transfer of \$56,500 for the FCSS Resource Centre. The

Town of High River received \$56,500 in 2024 for the FCSS Resource Centre.

CARRIED

**Town of High River
– Foothills Community**

Counselling: Moved by Rob Siewert that the Town of High River Foothills Community Counselling be granted \$10,000 for the Community Counselling Program. Foothills Community Counselling received \$20,000 in 2024.

CARRIED

**Town of High River
- Greater Foothills Family**

Centre: Moved by Barb Castell that the Town of High River Greater Foothills Family Centre be granted \$20,000 for the Family Centre Programming. Greater Foothills Family Centre received \$20,000 in 2024.

CARRIED

Wild Rose Community

Connections: Moved by Rob Siewert that Wild Rose Community Connections be granted \$21,700 for the DadConnexx Program. Wild Rose DadConnexx Program received \$21,680 in 2024.

CARRIED


Wild Rose Community

Connections: Moved by Barb Castell that Wild Rose Community Connections be granted \$7,000 for the Volunteer Program. Wild Rose Community Connections Volunteer Program received \$7,000 in 2024.

CARRIED

RECOMMENDATION:

That Council accept the FCSS Community Services Committee grant report as presented.

DEPARTMENT:	
	TOPIC: Foothills Okotoks Regional Water Project (FORWP) - Intake and Mid-Line Pump Stations
REPORT PRESENTED BY: Harry Riva Cambrin	

PURPOSE OF REQUEST

To seek Council’s approval to award the work to a contractor to construct the required pump stations.

BACKGROUND

The two pump stations are required to pump water from the intake site to Aldersyde and Okotoks.

REQUEST OF COUNCIL

Proposed Motions:

That Council accept the proposal from Everest Construction to build the intake pumpstation as recommended in the attached letter.

That Council accept the proposal from Everest Construction to build the mid-line pumpstation as recommended in the attached letter.

APPENDICES

- Appendix A: RFP#24-141 - Intake Pump Station
- Appendix B: RFP#24-140 - Mid-Line Pump Station

February 6, 2025

File: 1306.0120.04

Town of Okotoks and Foothills County
5 Elizabeth Street
PO Box 20, Station Main
Okotoks, AB T1S 1K1

Attention: Matthijs Mak, Senior Procurement Specialist

RE: RFP # 24-141: DESIGN ASSIST AND CONSTRUCTION SERVICES FOR FOOTHILLS OKOTOKS REGIONAL WATER PROJECT – INTAKE PUMP STATION RFP EVALUATION AND RECOMMENDATION

Three (3) proposals were received at the Town of Okotoks and Foothills County by 2:00:00 PM on January 30, 2025, for the above referenced project. We have reviewed the submissions for completeness of submittals as required by Request for Proposal documents. We also checked the received for mathematical errors in their bid budgets.

The proposals were evaluated in accordance with the evaluation criteria described in in the Request for Proposal and addendum documents.

Please find below a summary of our review and evaluation:

	Submitted By	Score	Pre-Construction Design Assist (GST excluded)	Construction (GST excluded)	Total Budget (GST excluded)
1	Everest Construction	86.0	\$ 5,250.00	\$ 4,004,359.53	\$ 4,009,609.53
2	Alpha Construction	83.5	\$ 18,220.00	\$ 4,379,436.00	\$ 4,397,656.00
3	Chandos Construction	79.5	\$ 32,333.00	\$ 5,179,872.00	\$ 5,212,205.49

The following is a summary of our review of the submissions:

Everest Construction

Submitted Total Budget of **\$ 4,009,609.53** (GST excluded)

- No Mathematical error found
- Total budget included 7.5% Contingency
- No omissions were noted.

Alpha Construction

Submitted Total Budget of **\$ 4,397,656.00** (GST excluded)

- No Mathematical error found
- Total Budget included 2% Contingency
- Omissions were noted as follow.
 - Total budget excludes compaction and concrete testing
 - Total budget excludes transformer and natural gas upgrades as well as communications and SCADA system

Chandos Construction.

Corrected Total Budget of **\$ 5,212,205.49** (GST excluded)

- Mathematical error found – Total submitted Budget \$ 5,212,205.00 and Total corrected \$ 5,212,205.49
- Total Budget included 15% Contingency
- Omissions were noted as follow.
 - Total budget assumed site rough grade to be completed by others
 - Total budget does not include remediation to caisson pile structure by others
 - Total budget assumes Chandos can install inbeds to inner face of caisson, to support the formwork

After the completion of the proposal evaluations the Preferred Proponent is **Everest Construction.**

It is noted that the contingency values between the submissions vary significantly between 2% to 15%. Given these differences, the evaluation was also conducted without the contingency values to ensure a more direct comparison of the base costs. After removing contingency values, Everest Construction remains the highest-ranked proponent, while Chandos Construction becomes the second ranked proponent ahead of Alpha Construction.

It is the recommendation of the evaluation team that the Town of Okotoks and Foothills County proceed with awarding the Design Assist Contract to **Everest Construction.**

The evaluation summary and a scan of the evaluation notes are enclosed and should be retained for your records.

Sincerely,

URBAN SYSTEMS LTD.



Razaq Mohammed, P.Eng., PMP
Water and Wastewater Engineer, Project Lead

cc: Jeremy Huet – Town of Okotoks
Harry Riva Cambrin – Foothills County
/pn

Project Name: FORW Intake PS
Town of Okotoks and Foothills
Owner: County
Project Number: 1306.0120.04
Closing Date: Thursday, January 30, 2025

Point Breakdown	
Price	50
Project Plan	20
Quality of Budget	15
Experience	15

	Razaq	Slava	Ryan	Tom	Tarek	Points
Alpha Construction						83.5
Price			\$4,397,656.00			46
Project Plan	5	5	5	5	10	12
Quality of Budget	5	10	10	5	10	12
Experience	10	10	10	5	10	13.5
Chandos Construction						79.5
Price			\$5,212,205.00			38
Project Plan	10	10	5	5	10	16
Quality of Budget	10	10	10	5	5	12
Experience	10	10	10	5	10	13.5
Everest Construction						86
Price			\$4,009,609.53			50
Project Plan	10	10	10	5	10	18
Quality of Budget	5	5	5	5	10	9
Experience	10	5	5	5	5	9

Project Name: FORW Intake PS
Town of Okotoks and Foothills
Owner: County
Project Number: 1306.0120.04
Closing Date: Thursday, January 30, 2025

Point Breakdown (Contingencies removed)

Price	50
Project Plan	20
Quality of Budget	15
Experience	15

	Razaq	Slava	Ryan	Tom	Tarek	Points
Alpha Construction						80.5
Price			\$4,312,656.00			43
Project Plan	5	5	5	5	10	12
Quality of Budget	5	10	10	5	10	12
Experience	10	10	10	5	10	13.5
Chandos Construction						82.5
Price			\$4,536,569.00			41
Project Plan	10	10	5	5	10	16
Quality of Budget	10	10	10	5	5	12
Experience	10	10	10	5	10	13.5
Everest Construction						86
Price			\$3,731,970.39			50
Project Plan	10	10	10	5	10	18
Quality of Budget	5	5	5	5	10	9
Experience	10	5	5	5	5	9

February 5, 2025

File: 1306.0120.07

Town of Okotoks and Foothills County
5 Elizabeth Street
PO Box 20, Station Main
Okotoks, AB T1S 1K1

Attention: Matthijs Mak, Senior Procurement Specialist

RE: DESIGN ASSIST AND CONSTRUCTION SERVICES FOR FOOTHILLS OKOTOKS REGIONAL WATER PROJECT – MIDLINE PUMP STATION AND TOWN OF OKOTOKS WATER TREATMENT PLANT TIE INS RFP 24-140 EVALUATION

Four (4) proposals were received at the Town of Okotoks and Foothills County by 2:00:00 PM on January 30, 2025, for the above referenced project. We have reviewed the submissions for completeness of submittals required by Request for Proposal documents and for mathematical errors.

The proposals were evaluated in accordance with the evaluation criteria described in in the Request for Proposal documents. The evaluation team consisted of the following participants:

Name	Organization
Tarek Saman	GHD
Tom Gillis	K2 Engineering
Malaya Coppola	Urban Systems Ltd.
Mohammed Elenany	Urban Systems Ltd.
Noor Mirza	MPE Engineering

Please find below a summary of our review and evaluation:

Submitted By	Score	Pre-Construction Design Assist (GST excluded)	Midline Pumpstation (GST excluded)	WTP Tie Ins (GST excluded)	Total Budget (GST excluded)
1 Everest Construction	86.5	\$ 15,500.00	\$ 7,784,864.43	\$ 1,997,555.48	\$ 9,797,919.91
2 Alpha Construction	76	\$ 34,320.00	\$ 9,995,678.00	\$ 1,810, 982.00	\$ 11,840,980.00
3 Chandos Construction	72	\$ 64,600.00	\$ 11,332,481.00	\$ 3,108,849.00	\$ 14,505,930.00
4 Kiewit Construction	45.8	\$ 133,564.00	\$ 26,696,693.009	\$ 5,505,035.00	\$ 32,335,292.00

The following is a summary of our review of the three highest ranked submissions:

Everest Construction

Corrected Total Budget of **\$ 9,797,919.91** (GST excluded)

- Mathematical error was found – Total submitted 9,332,090.39 and Total corrected \$ 9,797,919.91.
- Total budget included 5% Contingency on both Midline PS and WTP Tie-in

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- Proposed Substantial Performance dates are April 24, 2026, for the Midline PS and October 10, 2025, for the WTP Tie-in
- Omissions were noted as follow.
 - Total budget assumed Wet Well can be excavated open cut
 - Total budget breakdown did not include commissioning price

Alpha Construction

Submitted Total Budget of **\$ 11,840,980.00** (GST excluded)

- No Mathematical error found
- Total Budget included 1.6% Contingency on the Midline PS and 3.4% Contingency on the WTP Tie-in
- Proposed Substantial Performance dates are June 24, 2026, for the Midline PS and July 08, 2026, for the WTP Tie-in
- Omissions were noted as follow.
 - Total budget excludes submerged passivation for stainless steel pipes and fusion ponded epoxy of some valves
 - Total budget excludes compaction and material testing

Chandos Construction.

Corrected Total Budget of **\$ \$14,505,930.00** (GST excluded)

- Mathematical error found – Total submitted Budget \$14,505,929.00 and Total corrected \$ \$14,505,930.00
- Total budget included 15% Contingency on both Midline PS and WTP Tei-in
- Proposed Substantial Performance dates are April 29, 2026, for the Midline and May 15, 2026, for the WTP Tie-in
- Omissions were noted as follow.
 - Total budget assumed site rough grade to be completed by others
 - Total budget assumed all imported material for backfilling will be provided by others.
 - Total budget assumed Wet Well can be excavated open cut

After the completion of the proposal evaluations the Preferred Proponent is **Everest Construction**.

It is noted that the contingency values between the submissions vary significantly between 1.6% to 15%. Given these differences, the evaluation was also conducted without the contingency values to ensure a more direct comparison of the base costs.

After removing contingency values, Everest Construction remains the highest-ranked proponent, while Chandos Construction and Alpha Construction are now tied as the second highest-ranked proponents.

It is the recommendation of the evaluation team that the Town of Okotoks and Foothills County proceeds with awarding the Design Assist Contract to Everest Construction.

The evaluation summary and a scan of the evaluation notes are enclosed and should be retained for your records.

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Attention: Matthijs Mak, Senior Procurement Specialist
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Sincerely,

URBAN SYSTEMS LTD.



Malaya Coppola, E.I.T.

cc: Jeremy Huet, Harry Riva Cambrin

/pn

\\usl.urban-systems.com\projects\Projects_CAL\1306\0120\07\T-Tenders\2025-01-31-Midline PS Evaluations

Project Name: FORW Midline PS & WTP Tie Ins
Owner: Town of Okotoks & Foothills County
Project Number: 1306.0120.07
Closing Date: Thursday, January 30, 2025


Point Breakdown	
Price	50
Project Plan	20
Quality of Budget	15
Experience	15

	Malaya	Mohammed	Noor	Tom	Tarek	Points
Alpha Construction						76
Price			\$11,840,980.00			41
Project Plan	5	10	5	5	10	14
Quality of Budget	5	5	10	5	5	9
Experience	5	10	10	5	10	12
Chandos Construction						72
Price			\$14,505,930.00			34
Project Plan	10	5	5	5	10	14
Quality of Budget	10	10	10	5	5	12
Experience	10	10	5	5	10	12
Everest Construction						86.5
Price			\$9,797,090.91			50
Project Plan	10	5	10	5	5	14
Quality of Budget	5	5	10	5	10	10.5
Experience	10	10	10	5	5	12
Kiewit Construction						45.8
Price			\$32,335,292.00			15
Project Plan	5	10	10	5	5	14
Quality of Budget	5	5	5	10	1	7.8
Experience	5	10	5	5	5	9

Project Name: FORW Midline PS & WTP Tie Ins
Owner: Town of Okotoks & Foothills County
Project Number: 1306.0120.07
Closing Date: January 30, 2025

Point Breakdown (contingencies removed)	
Price	50
Project Plan	20
Quality of Budget	15
Experience	15

	Malaya	Mohammed	Noor	Tom	Tarek	Points
Alpha Construction						75
Price			\$11,620,980.00			40
Project Plan	5	10	5	5	10	14
Quality of Budget	5	5	10	5	5	9
Experience	5	10	10	5	10	12
Chandos Construction						75
Price			\$12,622,278.00			37
Project Plan	10	5	5	5	10	14
Quality of Budget	10	10	10	5	5	12
Experience	10	10	5	5	10	12
Everest Construction						86.5
Price			\$9,332,090.00			50
Project Plan	10	5	10	5	5	14
Quality of Budget	5	5	10	5	10	10.5
Experience	10	10	10	5	5	12
Kiewit Construction						46.8
Price			\$30,091,092.00			16
Project Plan	5	10	10	5	5	14
Quality of Budget	5	5	5	10	1	7.8
Experience	5	10	5	5	5	9

DEPARTMENT: Legislative Services	
	TOPIC: Roll #2229043330 - Request to Waive Tax Penalty
REPORT PRESENTED BY: Councillor Waldorf	

PURPOSE OF REQUEST

To consider the letter submitted by R. and O. Irodemko requesting to waive the January 1, 2025 tax penalties.

BACKGROUND

Annual property taxes were due on October 1, 2024. Any current year tax balances that are outstanding as of October 2nd were subject to a penalty of 6%. After January 1, 2025 all unpaid balances were subject to an additional penalty of 12%.

R. and O. Irodenko submitted a letter on February 4, 2025, requesting that Council waive the tax penalties for Roll #2229043330 due to family issue and the Canada Post mail disruption.

Roll# 2229043330

October 1, 2024 Penalty \$213.25 * paid on January 31, 2025.
January 1st Penalty \$452.08

REQUEST OF COUNCIL

Proposed Motion:

That Council acknowledge the letter from R. and O. Irodenko and approve/deny the request to waive tax penalties imposed against Tax Roll #2229043330 in the amount of \$452.08.

APPENDICES

Appendix A: Letter of Request - R. and O. Irodenko

-----Original Message-----

From: Russell Irodenko [REDACTED] >

Sent: February 4, 2025 6:58 PM

To: Don Waldorf <Don.Waldorf@FoothillsCountyAB.ca>

Subject: Property tax payment

[You don't often get email from [REDACTED] Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Dear Don.

Last week my wife Olga contacted you regarding our missed tax payment deadline. Unfortunately due to Canada post mail disruption and other family issues(mother's death) we missed payment on our new home in Artesia.

We made a payment as soon as we opened our mail and asking the board to waive penalty.

Please see payment screenshot attached.


Sincerely,

Russell and Olga Irodenko

106 Waters Edge drive

Heritage Pointe, AB

[EXTERNAL EMAIL] This email has originated from outside of the Foothills County organization. Do not click on any links or open any attachments unless you recognize the senders Name and Email address.

DEPARTMENT: Legislative Services	
	TOPIC: Agricultural Appeal Board Bylaw Amendment - (3 rd Reading)
REPORT PREPARED BY: Garity Stanley REPORT PRESENTED BY: Municipal Advisor Harry Riva Cambrin	

PURPOSE OF REQUEST

To consider 3rd reading of Bylaw 08/2025 being a bylaw to establish an Agricultural Appeal Board.

BACKGROUND

Upon recent review of Bylaw 82/2017, Administration has proposed amendments to include a section of the *Agricultural Pests Act*. The proposed amendments allow the Agricultural Appeal Board to determine and hear appeals against weed notices issued in accordance with the *Weed Control Act* as well as notice of appeals under the *Agricultural Pests Act*.

Bylaw 08/2025 was given first and second readings on February 5, 2025.

REQUEST OF COUNCIL

Proposed Motion:

That Council grant third reading to Bylaw 08/2025.

APPENDICES

Appendix A: Bylaw 08/2025

BYLAW 08/2025

**A BYLAW OF FOOTHILLS COUNTY, IN THE PROVINCE OF ALBERTA, TO AUTHORIZE
AN AMENDMENT TO THE AGRICULTURAL APPEAL BOARD BYLAW 82/2017; AS
AMENDED**

WHEREAS pursuant to the provisions of the Municipal Government Act, Chapter M-26 Revised Statutes of Alberta 2000, and amendments thereto, the Council of Foothills County in the Province of Alberta, has adopted Bylaw 82/2017 purpose of establishing an Agricultural Appeal Board; and

AND WHEREAS pursuant to Section 191(1) of the Municipal Government Act, Chapter M-26 Revised Statutes of Alberta 2000, the power to pass a bylaw under this or any other enactment includes a power to amend or repeal the bylaw; and

AND WHEREAS Council shall establish, at least annually, an independent appeal panel to determine appeals of inspector's notices, local authority's notices and debt recovery notices pursuant to Part 4 of the Weed Control Act, Statutes of Alberta, 2008, Chapter W-5.1; and

AND WHEREAS Council shall annually appoint a committee to hear and determine appeals under this section and on receipt of a notice of appeal a local authority shall refer the appeal to that committee pursuant to Section 14(5) of the Agricultural Pests Act, Chapter A-8 Revised Statutes of Alberta 2000; and

AND WHEREAS it is now deemed expedient to amend Bylaw 82/2017.

NOW THEREFORE THE COUNCIL ENACTS AS FOLLOWS:

1. This Bylaw may be cited as the "Agricultural Appeal Board Bylaw".
2. That the Council for Foothills County hereby establishes an independent Agricultural Appeal Board to hear appeals against notices issued in accordance with Part 3 of the Weed Control Act, Statutes of Alberta, 2008, Chapter W-5.1;
3. That the Council for Foothills County annually appoint a committee to hear and determine appeals under Section 14(5) of the Agricultural Pests Act and on receipt of a notice of appeal a local authority shall refer the appeal to that committee.
4. That the Board shall consist of at least three (3) members of the general public as appointed annually by Council.
5. Bylaw 82/2017 and any amendments thereto are hereby rescinded upon this Bylaw coming into effect.
6. This Bylaw shall have effect on the date of its third reading.

FIRST READING: February 5, 2025

Reeve

CAO

SECOND READING: February 5, 2025

Reeve

CAO

THIRD READING:

Reeve

CAO

PASSED IN OPEN COUNCIL assembled at the Town of High River in the Province of Alberta this
day of _____, 20____.